

Seller disclosure statement



Property Law Act 2023 section 99
Form 2, Version 1 | Effective from: 1 August 2025

WARNING TO BUYER – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

WARNING – You must be given this statement before you sign the contract for the sale of the property.

This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

Part 1 – Seller and property details

Seller	Luke Christos Diamandopoulos and Daniela Alisa Trombetta
Property address (referred to as the “property” in this statement)	29 Hatfield Street
	Banyo QLD 4014
Lot on plan description	Lot 170 on RP 34627

Community titles scheme or BUGTA scheme:	Is the property part of a community titles scheme or a BUGTA scheme:	
	☐ Yes	☒ No
	<i>If Yes, refer to Part 6 of this statement for additional information</i>	<i>If No, please disregard Part 6 of this statement as it does not need to be completed</i>

Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

Title details	The seller gives or has given the buyer the following—	
	A title search for the property issued under the <i>Land Title Act 1994</i> showing interests registered under that Act for the property.	☒ Yes
	A copy of the plan of survey registered for the property.	☒ Yes

Registered encumbrances	Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages. You should seek legal advice about your rights and obligations before signing the contract.
Unregistered encumbrances (excluding statutory encumbrances)	There are encumbrances not registered on the title that will continue ☐ Yes ☒ No to affect the property after settlement. Note—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are NOT required to be disclosed. Unregistered lease (if applicable) If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows: » the start and end day of the term of the lease: Insert date range » the amount of rent and bond payable: Insert amount of rent and bond » whether the lease has an option to renew: Insert option to renew information Other unregistered agreement in writing (if applicable) If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. ☐ Yes Unregistered oral agreement (if applicable) If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows: Insert names of parties to the agreement, term of the agreement and any amounts payable by the owner of the property
Statutory encumbrances	There are statutory encumbrances that affect the property. ☐ Yes ☒ No <i>If Yes, the details of any statutory encumbrances are as follows:</i>
Residential tenancy or rooming accommodation agreement	The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. ☐ Yes ☒ No If Yes, when was the rent for the premises or each of the residents' rooms last increased? <i>(Insert date of the most recent rent increase for the premises or rooms)</i> Note—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises. As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.

Part 3 – Land use, planning and environment

WARNING TO BUYER – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

Zoning	The zoning of the property is <i>(Insert zoning under the planning scheme, the Economic Development Act 2012; the Integrated Resort Development Act 1987; the Mixed Use Development Act 1993; the State Development and Public Works Organisation Act 1971 or the Sanctuary Cove Resort Act 1985, as applicable)</i> : Low Density Residential		
Transport proposals and resumptions	The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the dimensions of the property.	☐ Yes	☒ No
	The lot is affected by a notice of intention to resume the property or any part of the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the notice, order, proposal or correspondence must be given by the seller.</i>		
* <i>Transport infrastructure</i> has the meaning defined in the <i>Transport Infrastructure Act 1994</i> . A <i>proposal</i> means a resolution or adoption by some official process to establish plans or options that will physically affect the property.			
Contamination and environmental protection	The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act 1994</i> .	☐ Yes	☒ No
	The following notices are, or have been, given:		
	A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan).	☐ Yes	☒ No
	A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies).	☐ Yes	☒ No
	A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies).	☐ Yes	☒ No
Trees	There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the order or application must be given by the seller.</i>		
Heritage	The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth).	☐ Yes	☒ No
Flooding	Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the FloodCheck Queensland portal or the Australian Flood Risk Information portal.		
Vegetation, habitats and protected plants	Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.		

Part 4 – Buildings and structures

WARNING TO BUYER – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

Swimming pool	There is a relevant pool for the property.	☐ Yes	☒ No
	If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme.	☐ Yes	☒ No
	Pool compliance certificate is given.	☐ Yes	☒ No
	OR Notice of no pool safety certificate is given.	☐ Yes	☒ No
Unlicensed building work under owner builder permit	Building work was carried out on the property under an owner builder permit in the last 6 years.	☐ Yes	☒ No
	<i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i>		
Notices and orders	There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i> , section 246AG, 247 or 248 or under the <i>Planning Act 2016</i> , section 167 or 168.	☐ Yes	☒ No
	The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the notice or order must be given by the seller.</i>		
Building Energy Efficiency Certificate	If the property is a commercial office building of more than 1,000m ² , a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.		
Asbestos	The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (asbestos.qld.gov.au) including common locations of asbestos and other practical guidance for homeowners.		

Part 5 – Rates and services

WARNING TO BUYER – The amount of charges imposed on you may be different to the amount imposed on the seller.

Rates	Whichever of the following applies—
	The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is: Amount: \$516.36 Date Range: 01/01/26 to 31/03/26 OR The property is currently a rates exempt lot.** ☐ OR The property is not rates exempt but no separate assessment of rates ☐ is issued by a local government for the property.

*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

** An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

Water	Whichever of the following applies—
	The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is: Amount: \$538.61 Date Range: 25/11/2025 - 12/03/2026 OR There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is: Amount: Insert estimated amount Date Range: Insert date range

* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

WARNING TO BUYER – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate's expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.

For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.

Body Corporate and Community Management Act 1997	The property is included in a community titles scheme. <i>(If Yes, complete the information below)</i>	☐ Yes	☒ No
Community Management Statement	A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. Note —If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.	☐ Yes	
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Body Corporate and Community Management Act 1997</i> , section 205(4) is given to the buyer. <i>If No</i> — An explanatory statement is given to the buyer that states:	☐ Yes	☒ No
	» a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.	☐ Yes	
Statutory Warranties	Statutory Warranties —If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.		
Building Units and Group Titles Act 1980	The property is included in a BUGTA scheme <i>(If Yes, complete the information below)</i>	☐ Yes	☒ No
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i> , section 40AA(1) is given to the buyer. <i>If No</i> — An explanatory statement is given to the buyer that states:	☐ Yes	☒ No
	» a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot. Note —If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.	☐ Yes	

Signatures – SELLER



Signature of seller

LUKE CHRISTOS DIAMANDOPOULOS

Name of seller

10/4/2026

Date



Signature of seller

DANIELA ALISA TROMBETTA

Name of seller

10/4/2026

Date

Signatures – BUYER

By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.

Signature of buyer

Signature of buyer

Name of buyer

Name of buyer

Date

Date



Current Title Search

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	18457142	Search Date:	09/04/2026 16:31
Date Title Created:	22/01/1993	Request No:	55713944
Previous Title:	12426222		

ESTATE AND LAND

Estate in Fee Simple

LOT 170 REGISTERED PLAN 34627
Local Government: BRISBANE CITY

REGISTERED OWNER

Dealing No: 722429502 21/04/2023

LUKE CHRISTOS DIAMANDOPOULOS
DANIELA ALISA TROMBETTA

JOINT TENANTS

EASEMENTS, ENCUMBRANCES AND INTERESTS

- Rights and interests reserved to the Crown by
Deed of Grant No. 10028072 (POR 208)
Deed of Grant No. 10028073 (POR 209)
- MORTGAGE No 722429503 21/04/2023 at 15:37
COMMONWEALTH BANK OF AUSTRALIA A.C.N. 123 123 124

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **



T.H. Jackson L.S.
2. 4. 1917

SURVEY of Subs. 51-81, 114, 140, 170-190 & 18-26, of Per 20
ATIONS 1-50, 82-113, 141-160 & 191-211 of Sub A of Per 209

WT OR PORTION NO. _____

34627



LOTSEARCH REFERENCE
LS130237_DZ

REPORT DATE
10 Apr 2026 09:42:20

CLIENT ID
191279889

Seller Disclosure - Zoning



This report provides information on the zoning of a property. It is designed to support the requirement under the **Property Law Regulation 2024** to disclose the zoning of the property under **Part 3 - Land use, planning and environment** of the **QLD Seller Disclosure Statement**.



Zoning

The result below is based on the *Property Law Regulation 2024* and a search of zoning records under:

- the *Economic Development Act 2012* (Priority Development Areas)
- the *State Development and Public Works Organisation Act 1971*
- the *Integrated Resort Development Act 1987*
- the *Mixed Use Development Act 1993*
- the *Sanctuary Cove Resort Act 1985*
- the local planning scheme

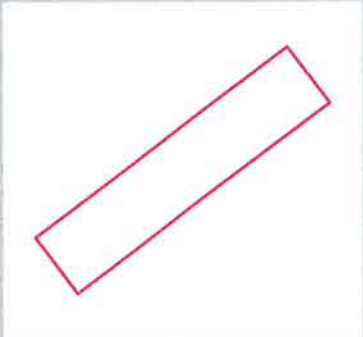
The zoning identified for the property:

Planning Record	Zoning
Local planning scheme	Low density residential

Temporary Local Planning Instruments (TLPs) may vary the local planning scheme zoning. Please refer to this [website](#) for a list of current TLPs or check with your local council.

Commonwealth and State legislation other than those listed in the *Property Law Regulation 2024* may state that the planning scheme does not apply to certain areas. This includes, but is not limited to, strategic and core port land, priority ports, and certain airport and defence land. This report does not include a notation of these areas. Please consult your local council and the relevant planning scheme for further information.

LOT/PLAN
Lot 170, RP34627



COUNCIL
Brisbane City

THINGS TO KNOW

This report provides zoning information only. The buyer may need to consider other planning controls that may apply to the lot such as local plans and overlays. These can be obtained from the local planning scheme.

This report does not replace the seller's responsibility to accurately complete the Seller Disclosure Statement.

CUSTOMER SUPPORT

-  support@lotsearch.com.au
-  lotsearch.com.au



Seller Disclosure - Zoning

Dataset Listing

The results in this report are based upon the following datasets only:

Dataset Name	Custodian	Supply Date	Currency Date	Update Frequency
Priority Development Areas	QLD Department of State Development, Infrastructure and Planning	01/04/2026	10/11/2025	Monthly
State Development Area Precincts	QLD Department of State Development, Infrastructure and Planning	01/04/2026	01/04/2026	Monthly
State Development Areas	QLD Department of State Development, Infrastructure and Planning	01/04/2026	29/02/2024	Monthly
Integrated Resort Development Areas	Brisbane City Council	09/03/2026	09/03/2026	Quarterly
Mixed Use Development Areas	Brisbane City Council	09/03/2026	09/03/2026	Quarterly
Sanctuary Cove Resort	Brisbane City Council	09/03/2026	09/03/2026	Quarterly
Brisbane Planning Scheme Zoning	Brisbane City Council	26/03/2026	05/12/2025	Monthly
Brisbane Planning Scheme Other Planning Instruments	Brisbane City Council	01/04/2026	05/12/2025	Monthly

Useful Contacts

Lotsearch Pty Ltd www.lotsearch.com.au support@lotsearch.com.au	QLD Department of State Development, Infrastructure and Planning https://www.planning.qld.gov.au/ 13 QGOV (13 74 68)	Brisbane City http://www.brisbane.qld.gov.au/ www.brisbane.qld.gov.au/about-council/contact (07) 3403 8888
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[Click for 'Use of Report - Applicable Terms'](#)

Disclaimer:
The purpose of this report is to provide a search of publicly available zoning records for the site, to support the requirement of identifying the zoning to be disclosed under the Property Law Regulation 2024 and assist with the disclosure of information under Part 3 – Land use, planning and environment, of the QLD Seller Disclosure Statement.
The report does not replace your responsibility to undertake the accurate identification and disclosure of information relevant to the matters outlined in the Seller Disclosure Statement.
The report does not constitute advice. The report is not a substitute for an on-site inspection or review of other available reports and records. The report is not intended to be, and should not be taken to be, a rating or assessment of the desirability or market value of the property or its features. You should obtain independent advice from a suitably qualified professional or legal practitioner before you make any decision based on the information within the report.
You understand that Lotsearch has defined the site by reference to lot and plan information supplied in the order. You accept that Lotsearch may amend some of the information supplied in the order, to identify the relevant site for the report.
Information provided by public authorities is constantly changing. This report is based on data listed in the Dataset Listing table and reflects a point in time position based on the datasets supplied on the dates given in the report. Report content may change over time. You should always seek an up-to-date report before relying on any of the content.
A link to the detailed terms applicable to the use of this report is available above.



53 Gillan Street,
Norman Park QLD 4170
(p): 0488 066 681
(e): admin@prontoapprovals.com.au

DECISION NOTICE – APPROVAL – 231479

Planning Act 2016 section 63

Applicant: Lifestyle Patios
Address: 1994 Mount Samson Road
Samford Valley QLD 4250
Phone: 07 3289 6392

Owner: Luke Diamand
Address: 29 Hatfield Street
Banyo QLD 4014
Phone: 0421 630 206

Address of development: 29 Hatfield Street
Banyo QLD 4014
Lot/DP: 170 RP34627
Local Government Area: Brisbane City Council
Details of proposed development: Open Carport
Building Classification: 10a

I wish to advise that, on 13/12/2023, the above development application was:

☒ **APPROVED IN FULL WITH CONDITIONS***

*Note: The conditions of this approval are set out in Attachment 1. The conditions show which conditions have been imposed by the assessment manager and which conditions have been imposed by a referral agency.

1. Details of the Approval

This application is taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

Type of approval	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Carrying out building work (<i>assessable under the Building Act 1975</i>)	Schedule 9, part 1	☒	☐

2. Conditions

This approval is subject to the conditions set out in Attachment 1.

3. Other requirements under section 43 of the Planning Regulation

- Building work under section 43 (c) of the Planning Regulation.** The proposed classification of the building under the Building code are as follows: 10a
- Section 43 (e) of the Planning Regulation** - Not applicable

4. Approved Plans and Specifications

The approved plans and/or documents for this development approval are listed in the following table:

Plan/Document number	Plan/Document Name	Prepared by	Date
Pages 1 to 63	Plans and Engineering	Lifestyle Patios / Ausdeck Patios and Roofing / Summermore Pty Ltd	12/12/2023

5. Currency Period for the Approval (section 85 of the *Planning Act 2016*) – this development approval will lapse in 12 months.

6. Appeal Rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).



53 Gillan Street,
Norman Park QLD 4170
(p): 0488 066 681
(e): admin@prontoapprovals.com.au

Appeal by an applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application
- a provision of the development approval
- the decision to give a preliminary approval when a development permit was applied for
- a deemed refusal of the development application.

An applicant may also have a right to appeal to the Development tribunal. For more information, see [schedule 1 of the Planning Act 2016](#).

Appeal by a submitter

A submitter for a development application may appeal to the Planning and Environment Court against:

- any part of the development application for the development approval that required impact assessment
- a variation request.

The timeframes for starting an appeal in the Planning and Environment Court are set out in [section 229 of the Planning Act 2016](#).

If you wish to discuss this matter further, please contact the undersigned.

Yours sincerely,

Dated: 13/12/2023

A handwritten signature in black ink, appearing to read 'Veen Lyall-Wilson', is written over a horizontal line.

Veen Lyall-Wilson
A1131996

GENERAL CONDITIONS OF APPROVAL – FOR BUILDING WORK - RESIDENTIAL - CARPORT

Building Approval Number: 231479
 Property Address: 29 Hatfield Street
 Banyo QLD 4014
 Scope of work: Open Carport

1. CURRENCY PERIOD

The currency period is that stipulated in clause 2 of the attached Decision Notice. This permit will lapse if building work covered by this approval has not been commenced and or completed within the period specified.

2. MANDATORY INSPECTIONS REQUIRED AT THE FOLLOWING STAGES:

Inspection	Private Certifier	Competent Person
Final - at completion of all aspects of building work	☒	☐

3. CERTIFICATES REQUIRED BEFORE FINAL INSPECTION

- **Licensed Builder Form 43:** - To state all construction materials and methodology are in accordance with the NCC, Approved Plans and Manufacturers design & installation manuals.

4. CONCRETE SLAB does not form part of this building approval.**5. SWIMMING POOL & SWIMMING POOL FENCING** does not form part of this building approval.**6. APPROVED USE OF BUILDING / STRUCTURE**

This development approval has been issued for an **Open Carport**.

Open Carport means:

- (a) two sides or more open, and a side is also considered open where the roof covering adjacent to that side is not less than 500mm from another building or a side or rear allotment boundary; and
- (b) not less than one-third of its perimeter open. The aggregate perimeter dimension of walls, solid screens, and supports located within the front 6m setback does not exceed 15% of the total perimeter dimension (along the line of supports) of that part of the carport within the same setback.

7. CLASS 10A STRUCTURES

Class 10a buildings within prescribed boundary clearances are permitted subject to the provisions of the Queensland Development Code Parts 1.1 and 1.2. Class 10a building or parts within prescribed side and rear boundary clearances must not be greater than 4.5m height above natural ground level or have a mean height greater than 3.5m above natural ground level. The maximum total length of all Class 10a buildings or parts must not exceed 9m along any one boundary. Class 10a buildings or parts within prescribed boundary clearances must not be closer than 1.5m to a required window in a habitable room of an adjoining dwelling.

8. QDC MP1.4 BUILDING OVER OR NEAR RELEVANT INFRASTRUCTURE

BUILDER / PROPERTY OWNER are responsible for accurately locating all relevant infrastructure prior to commencing construction. If the actual 'as constructed' location of any parts of the infrastructure are in conflict with the acceptable solutions of the QDC MP 1.4 Pronto Building Approvals must be notified in writing and amended plans provided prior to construction commencing.

9. EXISTING BUILDING SERVICES

BUILDER/OWNER are responsible for locating all existing building services prior to construction and ensuring compliance with any previous approvals or matters relating to Plumbing and Drainage, Electrical and Gas.

10. EASEMENTS

No building work is permitted inside any easement without written consent from owner easement. BUILDER is to identify exact location AND extent of any easement onsite prior to commencement any building work.

11. TERMITE CONTROL

The termite management system must be installed and/or maintained in accordance with ABCB Housing Provisions Standard 2022 Part 3.4

12. VEHICLE ACCESS

Vehicle access to the approved carport from the street is only permitted via a lawfully constructed vehicle crossover.

13. ROOF PENETRATIONS

Roof Penetrations to be in accordance with ABCB Housing Provisions Standard 2022 Part 7.2.7 for sheet roofing and 7.3.3 for tile and shingle roofing.

Steve Poots - 0412 205 677

Pronto Building Approvals

Site Plan

Reference Scale 1mm=200mm

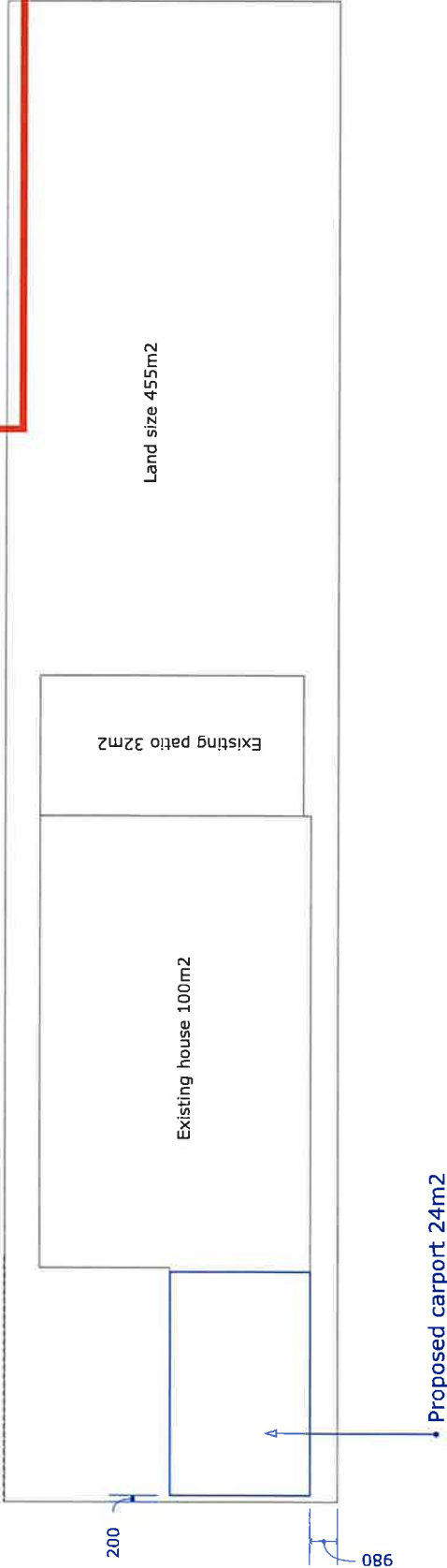
Date: 13/12/2023

APPROVED



Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

CARPOT TO REMAIN OPEN.
NOT TO BE ENCLOSED WITH
WALLS, SCREENS OR DOORS



45mm block

Luke Diamand
29 Hatfield Street
Banyo Qld 4014
0421 630 206
luke.diamand@hotmail.com
Lot 170 RP 34627 455m2



1300 417 950
ABN 70 118 015 875
QBCC No. 1090378

www.Lifestylepatios.com
enquiry@lifestylepatios.com

Copyright to Lifestyle Patios Pty Ltd

Additional Notes

Area Sizes	M2	%
Land	455	-
House	100	-
Patio	32	-
Other	-	-
	-	-

Steve Poots - 0412 205 677

Pronto Building Elevation

Reference: 100mm
Date: 13/12/2023

APPROVED

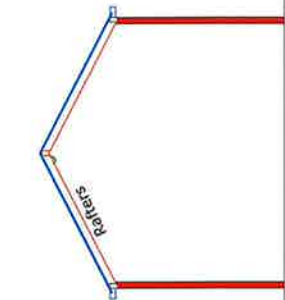
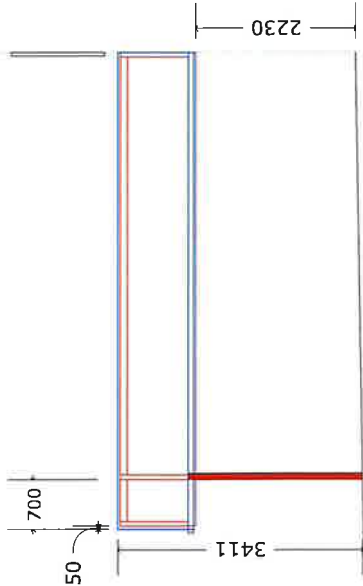
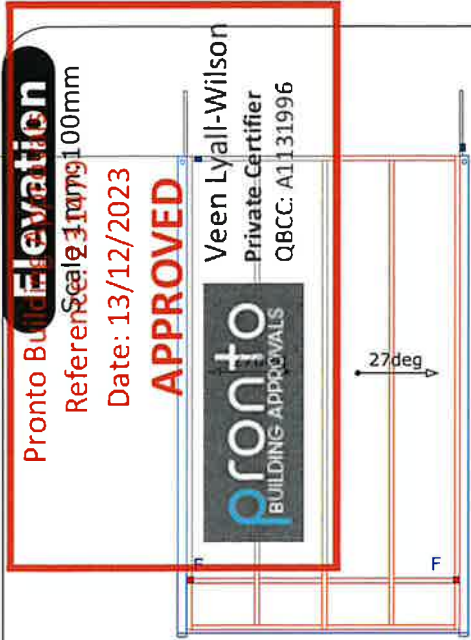


Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

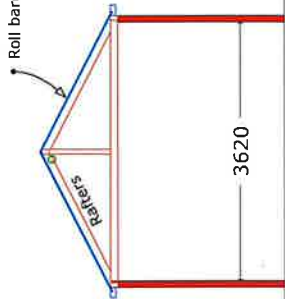
CARPORT TO REMAIN OPEN.
NOT TO BE ENCLOSED WITH
WALLS, SCREENS OR DOORS

Gutters to be 50mm Past front
of roof to allow water from
roll barge to flow to gutter.

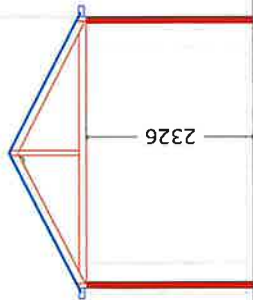
angle to match house gable, approx. 27 degree



Rear view &
Front view



Front view at post line



Design Agreement

Sign Here

All dimensions are subject
to final check measure

Luke Diamand
29 Hatfield Street
Banyo Qld 4014
0421 630 206
luke.diamand@hotmail.com
Lot 170 RP 34627 455m2

Additional Notes

1300 417 950
ABN 70 118 015 875
QBCC No. 1090378
Lifestyle Patios
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www.Lifestylepatios.com
enquiry@lifestylepatios.com
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Due to Council fire ant regulations, we are not allowed to move soil off site from our post footings or stormwater trenches. Owner will take responsibility of any soil let on their property

Steve Poots - 0412 205 677

Material Specifications

Structure — Front carport

Attachment — Front of house

Roofing — Single skin corrugated
Colour — Shale grey

Beams — 100x65mm
Colour — Surfmist

Posts — 90x90mm SHS steel

Colour — Shale Grey

Connection — Concrete footings

Footing — 500x500x700

Gutter — Quad

Colour — Shale Grey

Barges — Yes

Colour — Shale Grey

D/Pipe – 90mm UPVC

Colour — Unpainted

S/W Connect — Connect to house downpipes at house

Front Infill — open, no infill, owner will infill at some stage

Front Barge Roll Flashing — Yes

Colour—Shale Grey

Site Access – Good

ASSESSMENT MANAGER'S CONDITION:
Only information relating to the construction materials, methodology, and compliance with the relevant codes and regulations forms part of this approval. Additional notes contained within these plans that are contractual in nature and are not assessable development under the *Building Act 1975* and *Planning Act 2016*, do not form part of this development approval.

I have read and understand this document in it's entirety

Design Agreement

Luke Diamond
29 Hatfield Street
Banyo Qld 4014
0421 630 206
luke.diamond@hotmail.com
Lot 170 RP 34627 455m2

All dimensions are subject to final check measure

Due to increasing prices this year
this quote is valid for 2 months only.

Total Investment

U U U U U

Quote does **NOT** include Council Certification, Relaxation, Build Over Sewer, GIA, Town Planning fees etc. Unless stated in the Inclusions.

Inclusions

Council Certification Fee
Council Relaxation Fee
Council Other Fees
QBCC Insurance
Installation
G.S.T.

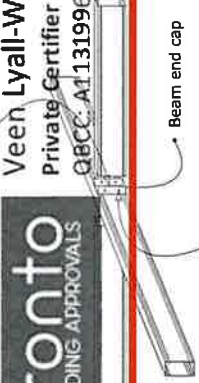
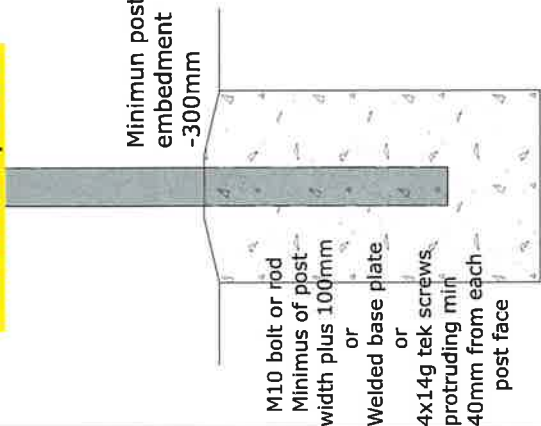
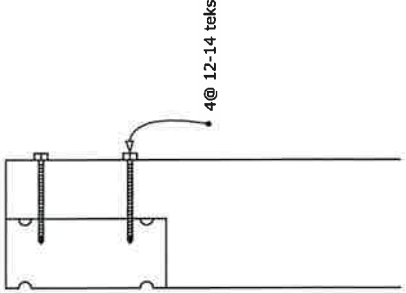
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ROOF TYPE Corro Single Skin Roof 5x 14tek per sheet 1 per every second Rib 	BEAM ATTACHMENT Beam to beam Reference: 2023 Fix end cap to beam 4@10-14x16mm teks rear to beam APPROVED  Beam end cap Fix end cap to beam 4@10-14x16mm teks end cap side to beam
POST ATTACHMENT Footing 65/90/100/150 Aluminium/Steel M10 bolt or rod Minimum of post width plus 100mm or Welded base plate or 4x14g tek screws protruding min 40mm from each post face  Minimum post embedment -300mm	BEAM ATTACHMENT 90/100/150 post to beam Aluminium/Steel  4@ 12-14 teks

12/12/2023, Pages 5 of 63



ENGINEERING AND CONSTRUCTION MANUAL

APRIL 2023

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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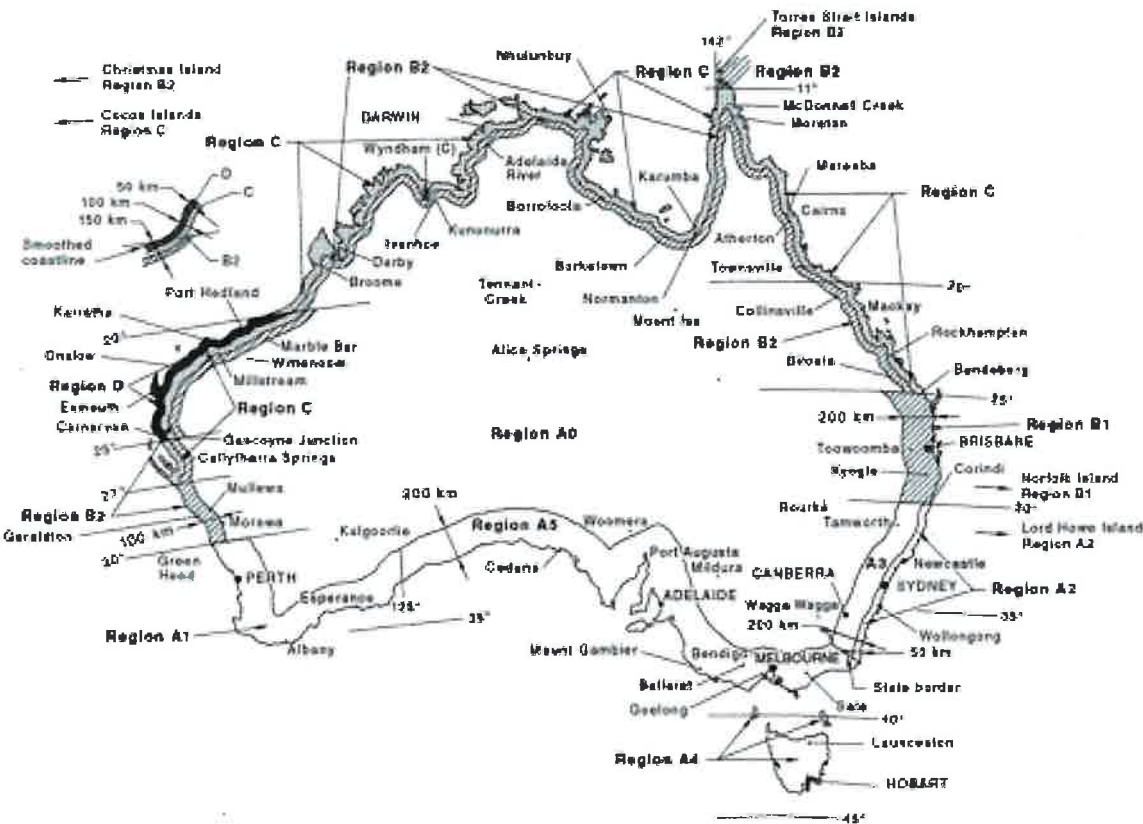
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Private Certifier
QBCC: A1131906

WINDSPEED

BASIC DESIGN PARAMETERS— WIND REGIONS

GEOGRAPHIC REGIONS

Regions are marked with the letters A (AO to A5), B1, B2, C and D. Coastal region boundaries are smooth lines set in from a smoothed coastline by 50, 100, 150 and 200 km. Islands within 50 km of the coast are designated in the same region as the adjacent coast.



TERRAIN CATEGORY

TC3	Numerous closely spaced house sized obstructions. (Normally houses or substantial trees). Density of buildings or substantial trees greater than 10 per hectare. Usually normal suburbia.
TC2.5	Spaced trees, sugar cane, long grass, isolated structures or outer suburbia. Density of buildings or substantial trees up to 10 per hectare.
TC2	Coastal areas or isolated trees, grass fields, airports or generally flat land. Any density of buildings or substantial trees.
TC1	Exposed or open terrain with few or no obstructions. Flat, treeless, poorly grassed plains of at least 10 km in width.

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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

TOPOGRAPHICAL FACTORS

Average Site Slope	Site Location on the Slope		
	Lower Third	Middle Third	Upper Third
Less than 1 in 10	1	1	1
Between 1 in 10 and 1 in 7.5	1	1	2
Between 1 in 7.5 And 1 in 5	1	1	3
Between 1 in 5 and 1 in 3	1	2	4
Greater than 1 in 3	1	3	5

WIND REGIONS

Geographic Region	Terrain Category	Topographic Classification														
		T1			T2			T3			T4			T5		
		FS	PS	NS	FS	PS	NS	FS	PS	NS	FS	PS	NS	FS	PS	NS
A (A0 to A5)	TC3	N1	N1	N2	N1	N2	N2	N2	N3	N3	N1	N3	N3	N3	N4	N4
	TC2.5	N1	N2	N2	N2	N3	N3	N2	N3	N3	N3	N4	N4	N3	N4	N4
	TC2	N2	N2	N3	N3	N3	N3	N3	N3	N4	N3	N4	N4	N4	N5	N5
	TC1	N3	N3	N3	N3	N4	N4	N4	N4	N4	N4	N5	N5	N5	N5	N6
B1 / B2	TC3	N2	N2	N3	N2	N3	N3	N3	N3	N4	N3	N4	N4	N4	N4	N5
	TC2.5	N2	N3	N3	N3	N3	N4	N3	N4	N4	N4	N4	N5	N4	N5	N5
	TC2	N3	N3	N3	N3	N4	N4	N4	N4	N5	N4	N5	N5	N5	N5	N6
	TC1	N3	N4	N4	N4	N5	N5	N4	N5	N5	N5	N6	N6	N6	N6	-
C	TC3	C1	C1	C2	C2	C2	C2	C2	C2	C3	C3	C3	C3	C3	C4	C4
	TC2.5	C1	C2	C2	C2	C2	C3	C2	C3	C3	C3	C4	C4	C3	C4	C4
	TC2	C2	C2	C2	C2	C3	C3	C3	C3	C4	C3	C4	C4	C4	-	-
	TC1	C2	C2	C2	C2	C3	C3	C3	C3	C4	C3	C4	C4	C4	-	-
D	TC3	C2	C2	C3	C2	C3	C3	C3	C4	C4	C4	C4	-	C4	-	-
	TC2.5	C2	C3	C3	C3	C3	C4	C3	C4	C4	C4	-	-	-	-	-
	TC2	C3	C3	C3	C3	C4	C4	C4	-	-	-	-	-	-	-	-
	TC1	C3	C3	C3	C3	C4	C4	C4	-	-	-	-	-	-	-	-

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WIND PRESSURE TABLE

Wind Category	N1	N2	N3	N4	C1	C2	C3	C4
Applicable Pz	0.69	0.96	1.50	2.23	1.50	2.23	3.29	4.44

SHIELDING CLASSIFICATION

Fully Shielded	10 buildings (or substantial trees in regions A and B) per hectare, all to be built within 5 years
Partial Shielding	2.5 buildings (or substantial trees in regions A and B) per hectare. Acreage development, all new or to be built within 5 years
No Shielding	Only occurs when shielding is less than that of partial shielding

TABLE OF COEFFICIENTS—ULTIMATE VALUES (kPa)

Wind Class	pZ	Coefficients					
		0.5	0.7	1.0	1.1	1.2	1.6
N1	0.69	0.35	0.48	0.69	0.76	0.83	—
N2	0.96	0.48	0.67	0.96	1.06	1.15	—
N3	1.50	0.75	1.05	1.50	1.65	1.80	—
N4	2.23	1.12	1.56	2.23	2.45	2.68	—
C1	1.50	0.75	1.05	1.50	—	1.80	2.40
C2	2.23	1.12	1.56	2.23	—	2.68	3.57
C3	3.29	1.65	2.30	3.29	—	3.95	5.26

APPLICABLE COEFFICIENTS
CP'N TABLE

Building Description	Attached Flat Patios	Attached Flat Carports	Attached Gable Patios	Attached Gable Carports	Freestanding Flat Patios		Freestanding Gable Patios	
					Patios	Carports	Patios	Carports
Wall to One Side	0.5* / 0.7	1.0	1.0	1.0	—	—	—	—
Wall to Two Sides	1.0	1.0	1.0	1.0	—	—	—	—
Wall to Three Sides	1.2	1.2	1.2	1.2	—	—	—	—
Enclosed—Non Cyclonic	1.1	1.1	—	—	—	—	—	—
Enclosed—Cyclonic	1.6	1.6	—	—	—	—	—	—
Enclosed	—	—	1.1	1.1	—	—	—	—
Freestanding—Open on Four Sides	—	—	1.6	1.6	0.7	1	1.0	1.2

*Note The following conditions apply to a Cp'n of 0.5:

1. Attached flat patios only with a roof pitch of <6 degrees. (Flyover structures and freestanding structures excluded)
2. A maximum of 1 enclosed side
3. The mid height of the existing roof must be a minimum of 1.5 times the patio height
4. Patios must be a minimum of 2.5 metres wide
5. Site address must be in Terrain Category 3, fully shielded and with a topographical factor of 1.0.

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CERTIFICATION AND TESTING

SNOW LOADS

Ausdeck structures in the following locations that require snow loading shall be determined in accordance with the following table.

Location	Elevation	Ground Snow Load $k_{100}=1.4$, $k_1 = 0.7$ (kPa)	Multiplier Factor for Roof Sheet Spans, Beam Spans, Beam Spacings and Column Spacings per Wind Region		
			N2	N3	N4
Kanimbla Valley	650	0.61	0.87	1.00	1.00
Hartley Historic Village	790	0.99	0.78	0.94	1.00
Little Hartley	800	1.02	0.77	0.93	0.99
Capertree	800	1.02	0.77	0.93	0.99
Tarana	830	1.10	0.75	0.90	0.98
Orange	870	1.21	0.73	0.87	0.96
Cullen Bullen	900	1.29	0.72	0.85	0.94
Lithgow	920	1.35	0.71	0.83	0.93
Wallerawang	920	1.35	0.71	0.83	0.93
Portland	930	1.38	0.70	0.82	0.92
Rydal	980	1.51	0.68	0.79	0.90
Hampton	1000	1.57	0.67	0.78	0.89
Katoomba	1020	1.62	0.66	0.77	0.88
Blackheath	1070	1.76	0.64	0.75	0.86
Clarence	1100	1.84	0.63	0.74	0.85
Mount Lambie	1100	1.84	0.63	0.74	0.85
Bathurst	1200	2.12	0.58	0.68	0.77

Notes Roof sheet overhangs shall not exceed 300mm in snow regions. Minimum roof sheet pitch to be 2 degrees in snow regions.

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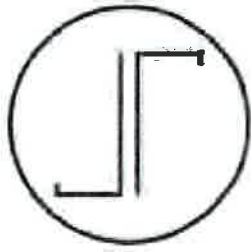
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12/12/2023, Pages 10 of 63



SUMMERMORE Pty Ltd ABN 42 108 898 433
PO Box 1671,
Browns Plains BC,
Queensland, 4118
 Tel: 07 3800 0973 Fax: 07 3800 1860 Mob: 0438288116
 E: ron@summermore.com.au
 W: www.summermore.com.au

Tuesday, 6 September 2022

Mr Matt Johnson
 Ausdeck
 16 Mica St
 Carole Park
 QLD 4300

Dear Mr Johnson

STRUCTURAL DESIGN CERTIFICATION
DESIGN CERTIFICATION FOR AUSDECK V-LINE LIGHT STRIP WITH SNOW LOADS

We, Summermore Pty Ltd, being Registered Structural and Civil Engineers, hereby certify that the design the V-Line Light Strip has been designed in accordance with widely accepted engineering principles and the referenced codes of practice.

When used in conjunction with 0.42mm or 0.48mm V-Line Roofing, where the light strip is at least 1000mm from the end of the roof and limited to a ratio of one light strip to no more than five V-Line sections, the light strip is capable of supporting 0.9kPa of roof snow load.

Referenced Codes of Practice and Manuals

National Construction Code of Australia 2019

AS/NZS 1170.0:2002	Structural Design Actions Part 0—General Principles
AS/NZS 1170.1:2002	Structural Design Actions Part 1—Permanent, Imposed & Other Actions
AS/NZS 1170.3:2003	Structural Design Actions Part 3—Ice and Snow Actions

Summermore Pty Ltd accepts no responsibility for information that has not been expressly identified as part of this certification.

If we can be of any further assistance in this matter, please do not hesitate to contact this office.

Yours Faithfully

Ronald Bell
 FIEAust (891940), CPEng, NER, APEC Engineer, IntPE(Aus), Registered Engineer Structural NSW (BDC04601).
 Director
 Summermore Pty Ltd

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Pronto Building Approvals

Reference: 231479

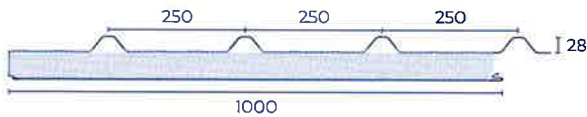
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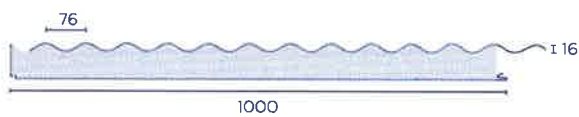
INSULATED SPANS

Ribbed Insulated Roofing



Note: Refer to overall thickness for dimensions.

Corrugated Insulated Roofing



INSULATED SPECIFICATIONS

Panel Size (mm)	50	75	100	125	150
Ribbed Overall Thickness (mm)	78	103	128	153	178
Corrugated Overall Thickness (mm)	66	91	116	141	166
Panel Coverage (mm)	1000				
Min. Length (m)	Cut to length, 1,8				
Roof Profile and Material	Ribbed or Corrugated: 0.42 / AZ150 G550				
Ceiling Profile and Material	Flat: 0.60 / AZ150 G300				
Roof and Ceiling Finish	Roof: 25% Gloss, Ceiling: 25% Gloss				
Paint System	AS/NZS 2728 and AS 1397				
Core Material	SL Grade Polystyrene—Fire-Retardant				
Adhesive	Thermosetting two-part polyurethane CFC free				

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RIBBED SPECIFICATIONS

Panel Size (mm)	50	75	100	125	150
R Value 8°C m²KW	1.61	2.26	2.66	3.25	3.94
R Value 20°C m²KW	1.59	2.22	2.59	3.17	3.75
Panel Weight (kg/m²)	10.58	10.94	11.37	11.8	12.23
Min. Roof Pitch (°)	2° (35mm / metre)				

CORRUGATED SPECIFICATIONS

Panel Size (mm)	50	75	100	125	150
R Value 8°C m²KW	1.61	2.26	2.66	3.25	3.94
R Value 20°C m²KW	1.59	2.22	2.59	3.17	3.75
Panel Weight (kg/m²)	10.85	11.21	11.65	12.08	12.51
Min. Roof Pitch (°)	5° (87mm / metre)				

Note 1 Degree is available of for ribbed only with limited span. Refer notes section page 15.

EARLY FIRE HAZARD PROPERTIES
RIBBED INSULATED ROOFING–AS 1530.3–EPS-FR PANEL

Index	Test Range	External Top Skin	Exposed Core
Ignitability	0 – 20	0	12
Spread of Flame	0 – 10	0	9
Heat Evolved	0 – 10	0	7
Smoke Developed	0 – 10	1	7

CORRUGATED INSULATED ROOFING–AS 1530.3–EPS-FR PANEL

Index	Test Range	External Top Skin	Exposed Core
Ignitability	0 – 20	0	12
Spread of Flame	0 – 10	0	9
Heat Evolved	0 – 10	0	7
Smoke Developed	0 – 10	1	

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STANDARDS
WINDSPEED
INSULATED SPANS
SINGLE-SKIN ROOFING SPANS
BEAM SPANS
GABLE SPANS
CONNECTION DETAILS
DECKS AND FLOORS
CERTIFICATION AND TESTING

INSULATED ROOFING SPAN TABLE

Wind Class	Panel Size Coefficient	Wall to One Side (Cp'n 0.5/0.7)	Walls to Two Sides (Cp'n 1.0)	Walls to Three Sides (Cp'n 1.2)	Enclosed (Cp'n 1.1)	Freestanding (Cp'n 0.7)	Overhang
N1	50	5000	4800	4200	4800	5000	900
	75	6500	6100	5100	5900	6500	900
	100	7000	6300	5400	6200	7000	1200
	125	7800	7200	6000	6900	7800	1500
	150	8600	7800	6600	7600	8600	1800
N2	50	5000	4800	4200	4800	5000	900
	75	6500	6100	5100	5900	6500	900
	100	7000	6300	5400	6200	7000	1200
	125	7800	7200	6000	6900	7800	1500
	150	8600	7800	6600	7600	8600	1800
N3	50	4400	3900	3300	3800	4400	900
	75	5400	4900	4100	4800	5400	900
	100	5600	5000	4300	4900	5600	1200
	125	6200	5500	4800	5500	6200	1500
	150	6900	6300	5200	6100	6900	1700
N4	50	3600	3100	2700	3100	3600	600
	75	4400	3900	3100	3900	4400	900
	100	4600	4000	3500	4000	4600	1200
	125	5100	4500	3900	4500	5100	1300
	150	5600	5100	4300	5000	5600	1400
C1	50	3800	3500	2900	3600	3800	900
	75	4600	4200	3500	4400	4600	900
C2	100	5300	4900	4100	5100	5300	1200
	50	3100	2800	2300	2900	3100	600
	75	3800	3500	2900	3600	3800	600
C3	100	4400	4000	3300	4200	4400	900
	50	2500	2300	1900	2400	2500	400
	75	3100	2800	2400	2900	3100	600
	100	3600	3300	2700	3400	3600	800

Notes For designing attached/freestanding carports or gables it is important to refer to page 5 and apply the correct coefficients for the application. Use the live load of span 1/150 applies, and in accordance with Serviceability Limit State criteria per AS1170.0 - TABLE C1. Self weight of roof panels shall be included for plus an allowance of max 25kg/m² uniformly distributed dead loads. (eg lights, fans, solar panels, etc). Non-trafficable main entrance canopies shall be designed for plus an allowance of max 100kg/m² uniformly distributed dead loads. If the main entrance canopy requirement of AS/NZS 1170.1:2001 has been allowed for, Distributed live load of 0.25kPa (as per AS/NZS 1170.1:2001) shall be applied.

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BUILDING APPROVALS

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MAXIMUM ROOF SHEET LENGTH FOR A ROOF PITCH OF 1 DEGREE

Product	Max. Roof Sheet Length @ 1 Degree
V-Line 0.48 Only	3600
50mm Ribbed Insulated	3800
75mm Ribbed Insulated	4550
100mm Ribbed Insulated	5300
125mm Ribbed Insulated	6000
150mm Ribbed Insulated	6700

Notes Ausdeck roofing products (V-Line 0.48 and Ribbed EPS Panels) installed with a roof pitch of 1 degree as per the maximum roof sheet length shown in table are based on rain intensity of 350mm/hr. This table does not override the standard roof sheet span tables. 1 Degree will affect warranty on materials. Please check with manufacture for warranties.

INSULATED ROOFING FIXINGS GUIDE

Product	Insulated to Metal Beam	Insulated to Timber Beam	Screws Required
50mm Ribbed	Tek 14x125 Screw	Type 17 14x125 Screw	4 per panel for each fixing point
75mm Ribbed	Tek 14x150 Screw	Type 17 14x150 Screw	4 per panel for each fixing point
100mm Ribbed	Tek 14x175 Screw Tek 14x175 Screw	Type 17 14x200 Screw	4 per panel for each fixing point
125mm Ribbed	Tek 14x200 Screw	Type 17 14x200 Screw	4 per panel for each fixing point
150mm Ribbed	Tek 14x225 Screw	Type 17 14x250 Screw	4 per panel for each fixing point
50mm Corrugated	Tek 14x125 Screw	Type 17 14x125 Screw	7 per panel for each fixing point
75mm Corrugated	Tek 14x150 Screw	Type 17 14x150 Screw	7 per panel for each fixing point
100mm Corrugated	Tek 14x150 Screw Tek 14x175 Screw	Type 17 14x200 Screw	7 per panel for each fixing point
125mm Corrugated	Tek 14x200 Screw	Type 17 14x200 Screw	7 per panel for each fixing point
150mm Corrugated	Tek 14x200 Screw	Type 17 14x250 Screw	7 per panel for each fixing point

Note Tek 12x20 stitching screws required every 900 crs on overlap for bracing.

All Tek 14 & Type 17 to have Climaseal coated with cyclonic washer.

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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

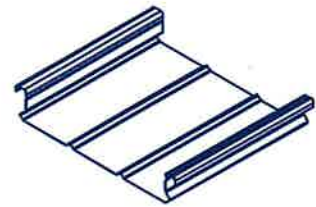
CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

12/12/2023, Project 16 (16)

SINGLE-SKIN ROOFING SPANS



Ausdeck's V-Line roofing is an affordable, single-skin system designed specifically for outdoor structures such as patios, carports, awnings, and walkways. It features a high-gloss ceiling finish with an aesthetically pleasing VJ appearance.

Our V-Line roofing is made from high-quality 0.42mm or 0.48mm steel and is available in a range of traditional and modern colours to suit your existing colour scheme. There are four single colours and three combination colours to choose from. When combined with our beams, posts, gutters, flashings and downpipes, our single-skin roofing delivers an affordable, stylish, and functional outdoor area that can add space and value to any home.

★ FEATURES

- Affordable, single-skin roofing system
- High-quality, pre-painted steel
- High-gloss ceiling finish with a VJ appearance
- Excellent spanning capabilities requiring fewer beams
- Unique interlocking system for fast and easy installation
- Lighting solutions like skylight strips available
- Range of popular colours available
- 15-year warranty*

✂ APPLICATIONS

- Residential and commercial projects
- Outdoor structures e.g. patios, carports, awnings, and walkways

*Refer to our Warranty for full details.

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Reference: 231479

Date: 13/12/2023

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V-LINE SPAN TABLE

Wind Class	Thickness BMT Coefficient	Wall to One Side (Cp'n 0.5/0.7)	Walls to Two Sides (Cp'n 1.0)	Walls to Three Sides (Cp'n 1.2)	Enclosed (Cp'n 1.1)	Freestanding (Cp'n 0.7)	Overhang
N1/ N2	0.42	4650	4650	4200	4350	4650	900
	0.48	5150	5150	4650	4650	5150	900
N3	0.42	4500	4350	3850	3950	4600	900
	0.48	4950	4900	4450	4550	5150	900
N4	0.42	4150	4050	3400	3500	4300	875
	0.48	4700	4650	4200	4250	4800	900
C1	0.48	4180	4180	3400	3550	4180	750
C2	0.48	3400	3220	2800	2950	4050	525
C3	0.48	2700	2600	2500	2500	2850	275
Recommended Fixings		N1 to N4 Wind Conditions		C1 to C4 Wind Conditions			
V-Line Roofing to Receiver Channel		1/10-14 x 16 Self Drilling Tek or 1/6x13 Ripple Zip Screw per Pan		1/6 x 13 Ripple Zip per Pan and PE30 Weatherseal Infil			
V-Line Roofing to Beams		1/12-14x20 Self Drilling Tek per Pan into Beam and 4mm Rivets @200c/s		1/12-14 x 30 Self Drilling Tek and 25 x 1.2mm Aluminium EPDM Washer per Pan			

Notes For designing attached/freestanding carports or gable structures, It is important to refer to the applicable coefficient table on page 5 for these structures. These roof spans are non trafficable spans. It is recommended that a sign displaying this is located in the vicinity of access points to the roofs. Minimum Roof Pitch 2 Degrees. These tables do not consider serviceability limits.

STANDARDS
WINDSPEED
INSULATED SPANS
SINGLE-SKIN ROOFING SPANS
BEAM SPANS
GABLE SPANS
CONNECTION DETAILS
DECKS AND FLOORS

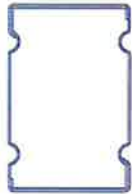
Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

12/12/2023, Pagina 17 di 61

BEAM SPANS



**100 x 65 x 1.0mm G550
Roll Formed Box Beam**



**150 x 65 x 1.2mm G550
Roll Formed Box Beam**



**200 x 65 x 1.2mm G550
Roll Formed Box Beam**

Ausdeck's Shurelock beams have been purposely designed to provide superior spanning capabilities in outdoor structures. Made from high-tensile steel, they have been engineered and tested to comply with Australian Standards AS 1397/G550.

Their unique construction consists of two interlocking c-sections making them lightweight and robust. Choose from three sizes and seven standard high-gloss colours to suit your application and aesthetic preference.

★ FEATURES

- Stylish design to complement our roofing
- High-quality, high-tensile steel for durability
- Light, two-piece construction for superior spanning capabilities
- 65mm beam width makes it easy to secure roof panels and sheets
- Large selection of beam accessories available
- Range of colours to choose from

✂ APPLICATIONS

- Residential and commercial projects
- Outdoor structures e.g. patios, carports, awnings, and walkways

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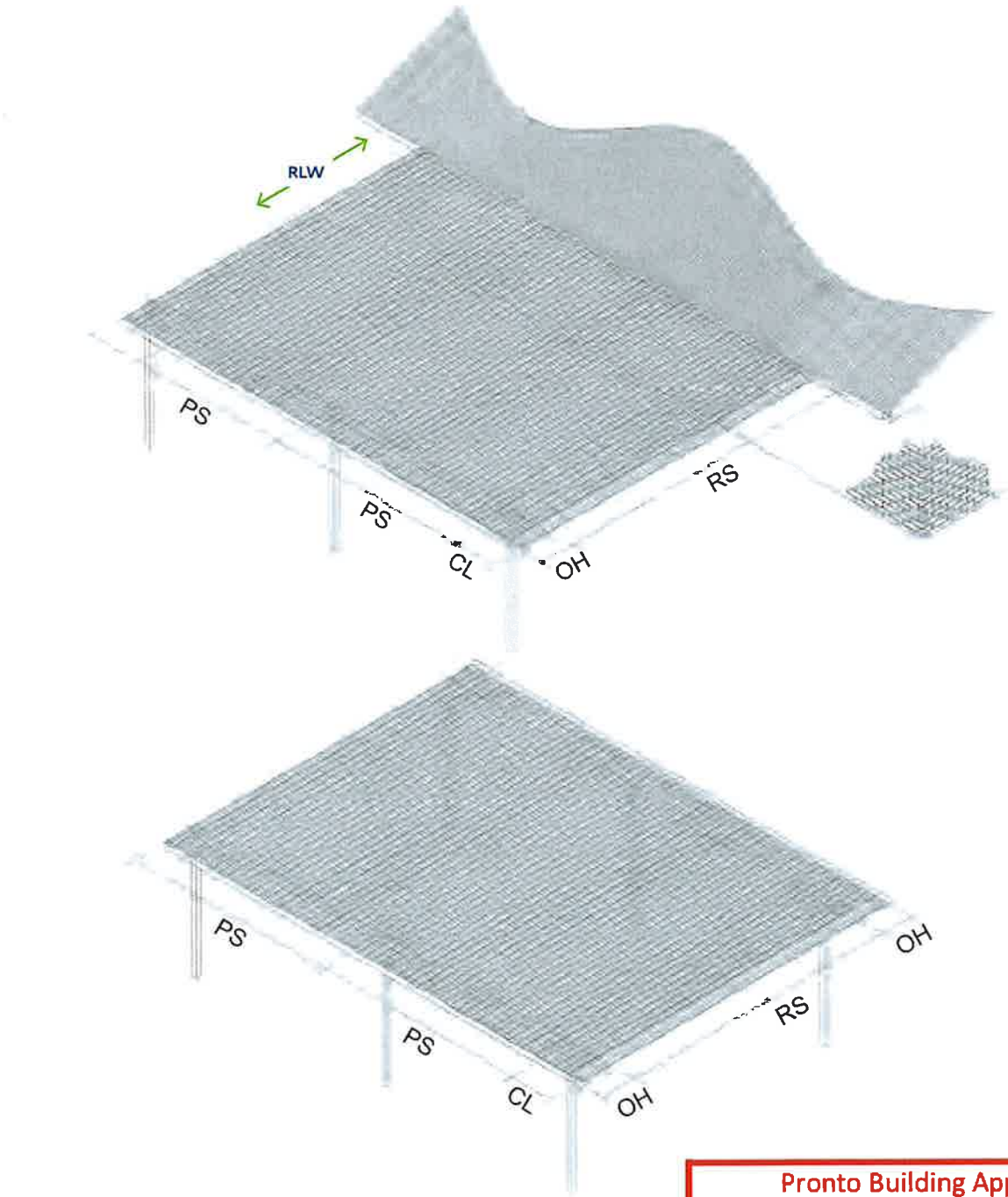
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SHURELOCK BEAM SPANS
AUSDECK—ROLL FORMED BEAMS
FLAT PATIOS—SINGLE SPAN



Calculating Roof Load Width

$RLW = RS/2 + OH$

RS Roof Sheet Span
OH Roof Sheet Overhang

PS Post Spacing
CL Beam Cantilever

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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

WIND REGION—N1

Roof Load Width	Walls to One Side							
	0.5 Cp'n				0.7 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	6.80	9.05	10.70	12.70	6.05	8.80	10.70	12.70
1.50	6.30	8.55	10.10	12.00	5.65	8.15	10.10	11.95
1.80	5.95	8.15	9.65	11.50	5.30	7.70	9.65	11.25
2.10	5.65	7.85	9.30	11.05	5.05	7.30	9.15	10.70
2.40	5.40	7.60	9.00	10.70	4.80	7.00	8.75	10.20
2.70	5.20	7.35	8.75	10.35	4.60	6.70	8.40	9.80
3.00	5.00	7.20	8.50	10.10	4.45	6.45	8.10	9.50
3.30	4.85	7.00	8.30	9.85	4.30	6.25	7.85	9.20
3.60	4.70	6.80	8.10	9.65	4.20	6.10	7.65	8.90
3.90	4.60	6.65	7.95	9.45	4.10	5.95	7.45	8.70
4.20	4.45	6.45	7.80	9.30	4.00	5.80	7.25	8.45
4.50	4.35	6.35	7.70	9.15	3.90	5.65	7.10	8.30
4.80	4.25	6.20	7.55	9.00	3.80	5.55	6.95	8.10
5.10	4.20	6.05	7.45	8.85	3.75	5.40	6.80	7.95
5.40	4.10	5.95	7.35	8.70	3.65	5.30	6.65	7.80
5.70	4.05	5.85	7.25	8.55	3.60	5.20	6.55	7.65
6.00	3.95	5.75	7.15	8.40	3.55	5.15	6.45	7.50
6.30	3.90	5.65	7.05	8.30	3.50	5.05	6.35	7.40
6.60	3.85	5.55	7.00	8.15	3.45	4.95	6.25	7.30
6.90	3.80	5.50	6.90	8.05	3.40	4.90	6.15	7.20
7.20	3.75	5.40	6.80	7.90	3.35	4.85	6.05	7.10
7.50	3.65	5.35	6.70	7.80	3.30	4.75	5.95	7.00
7.80	3.65	5.25	6.60	7.70	3.25	4.70	5.90	6.90
8.10	3.60	5.20	6.50	7.60	3.20	4.65	5.80	6.80
8.40	3.55	5.15	6.45	7.50	3.15	4.60	5.75	6.70
8.70	3.50	5.05	6.35	7.45	3.10	4.55	5.70	6.65

Notes For freestanding structures use Cp'n 0.7 for patios and Cp'n 1 for carports. 200x65 1.2mm Shurelok with C195-1.9 Insert (Wind load non trafficable and 15kg/m² roof load).

- 1. Maximum cantilever for 100mm beam = 900mm
- 2. Maximum cantilever for 150mm beam = 1200mm
- 3. Maximum cantilever for 200mm beam = 1500mm.

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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BUILDING APPROVALS

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Walls to Two Sides				Walls to Three Sides				Enclosed			
1 Cp'n				1.2 Cp'n				1.1 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
5.40	7.80	9.50	11.45	5.20	7.35	9.20	10.75	5.05	7.55	9.50	11.05
5.00	7.25	8.80	10.60	4.85	6.80	8.55	10.00	4.70	7.00	8.80	10.30
4.70	6.80	8.30	10.00	4.55	6.40	8.05	9.40	4.40	6.60	8.30	9.65
4.45	6.45	7.85	9.50	4.30	6.10	7.65	8.90	4.20	6.25	7.85	9.20
4.25	6.20	7.50	9.05	4.15	5.80	7.30	8.55	4.00	6.00	7.50	8.80
4.10	5.95	7.25	8.70	3.95	5.60	7.00	8.20	3.85	5.75	7.25	8.45
3.95	5.75	7.00	8.40	3.85	5.40	6.80	7.90	3.75	5.55	7.00	8.15
3.85	5.55	6.75	8.15	3.70	5.25	6.55	7.65	3.60	5.40	6.75	7.90
3.75	5.40	6.55	7.90	3.60	5.10	6.40	7.45	3.50	5.25	6.55	7.65
3.65	5.25	6.40	7.70	3.50	4.95	6.20	7.25	3.40	5.10	6.40	7.45
3.55	5.15	6.25	7.50	3.45	4.85	6.05	7.10	3.35	4.95	6.25	7.30
3.45	5.00	6.10	7.35	3.35	4.70	5.90	6.90	3.25	4.85	6.10	7.10
3.40	4.90	5.95	7.20	3.30	4.60	5.80	6.75	3.20	4.75	5.95	6.95
3.30	4.80	5.85	7.05	3.20	4.50	5.70	6.65	3.10	4.65	5.85	6.85
3.25	4.70	5.75	6.90	3.15	4.45	5.55	6.50	3.05	4.55	5.75	6.70
3.20	4.65	5.65	6.80	3.10	4.35	5.45	6.40	3.00	4.50	5.65	6.60
3.15	4.55	5.55	6.70	3.05	4.30	5.40	6.30	2.95	4.40	5.55	6.45
3.10	4.50	5.45	6.55	3.00	4.20	5.30	6.20	2.90	4.35	5.45	6.35
3.05	4.40	5.35	6.45	2.95	4.15	5.20	6.10	2.85	4.25	5.35	6.25
3.00	4.35	5.30	6.35	2.90	-	-	-	-	4.20	5.30	6.15
2.95	4.30	5.52	6.30	2.85	-	-	-	-	4.15	5.52	6.10
2.90	4.25	5.15	6.20	2.80	-	-	-	-	4.10	5.15	6.00
2.85	4.15	-	6.10	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Pronto Building Approvals
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WIND REGION—N2

Roof Load Width	Walls to One Side							
	0.5 Cp'n				0.7 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	6.85	9.05	10.70	12.70	6.15	8.90	10.70	12.70
1.50	6.40	8.55	10.10	12.00	5.70	8.25	10.10	12.00
1.80	6.00	8.15	9.65	11.50	5.35	7.80	9.65	11.40
2.10	5.70	7.85	9.30	11.05	5.10	7.40	9.25	10.80
2.40	5.45	7.60	9.00	10.70	4.85	7.05	8.85	10.35
2.70	5.25	7.35	8.75	10.35	4.70	6.80	8.50	9.95
3.00	5.05	7.20	8.50	10.10	4.50	6.55	8.20	9.60
3.30	4.90	7.00	8.30	9.85	4.40	6.35	7.95	9.30
3.60	4.75	6.85	8.10	9.65	4.25	6.15	7.75	9.05
3.90	4.65	6.70	7.95	9.45	4.15	6.00	7.55	8.80
4.20	4.50	6.55	7.80	9.30	4.05	5.85	7.35	8.60
4.50	4.40	6.40	7.70	9.15	3.95	5.70	7.20	8.40
4.80	4.30	6.25	7.55	9.00	3.85	5.60	7.00	8.20
5.10	4.25	6.15	7.45	8.85	3.80	5.50	6.90	8.05
5.40	4.15	6.05	7.35	8.70	3.70	5.40	6.75	7.90
5.70	4.10	5.90	7.25	8.60	3.65	5.30	6.65	7.75
6.00	4.00	5.80	7.15	8.50	3.60	5.20	6.50	7.60
6.30	3.95	5.70	7.05	8.40	3.50	5.10	6.40	7.50
6.60	3.90	5.65	7.00	8.25	3.45	5.05	6.30	7.40
6.90	3.85	5.55	6.90	8.15	3.40	4.95	6.20	7.25
7.20	3.75	5.45	6.85	8.00	3.35	4.90	6.15	7.15
7.50	3.70	5.40	6.75	7.90	3.30	4.80	6.05	7.05
7.80	3.65	5.35	6.70	7.80	3.30	4.75	5.95	7.00
8.10	3.65	5.25	6.60	7.70	3.25	4.70	5.90	6.90
8.40	3.60	5.20	6.50	7.60	3.20	4.65	5.80	6.80
8.70	3.26	5.15	6.45	7.55	3.15	4.60	5.75	6.75

Notes For freestanding structures use Cp'n 0.7 for patios and Cp'n 1 for carports. 200x65 1.2mm Shurelock with CI95-1.9 Insert (Wind load non trafficable and 15kg/m² roof load).

- 1. Maximum cantilever for 100mm beam = 900mm
- 2. Maximum cantilever for 150mm beam = 1200mm
- 3. Maximum cantilever for 200mm beam = 1500mm

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Walls to Two Sides				Walls to Three Sides				Enclosed			
1 Cp'n				1.2 Cp'n				1.1 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
5.45	7.90	9.90	11.60	5.15	7.45	9.35	10.90	5.30	7.65	9.60	11.20
5.05	7.35	9.20	10.75	4.75	6.90	8.65	10.10	4.90	7.10	5.90	10.40
4.75	6.90	8.65	10.10	4.50	6.50	8.15	9.50	4.60	6.70	8.40	9.80
4.50	6.55	8.20	9.60	4.25	6.15	7.75	9.05	4.40	6.35	7.95	9.30
4.30	6.25	7.85	9.20	4.05	5.90	7.40	8.65	4.20	6.05	7.60	8.90
4.15	6.05	7.55	8.85	3.90	5.65	7.10	8.30	4.00	5.85	7.30	8.55
4.00	5.80	7.30	8.50	3.75	5.45	6.85	8.00	3.90	5.65	7.05	8.25
3.90	5.65	7.05	8.25	3.65	5.30	6.65	7.75	3.75	5.45	6.85	8.00
3.75	5.45	6.85	8.00	3.55	5.15	6.45	7.55	3.65	5.30	6.65	7.75
3.65	5.35	6.70	7.80	3.45	5.00	6.30	7.35	3.55	5.15	6.45	7.55
3.60	5.20	6.50	7.60	3.35	4.90	6.15	7.15	3.45	5.05	6.30	7.40
3.50	5.10	6.35	7.45	3.30	4.80	6.00	7.00	3.40	4.90	6.15	7.20
3.45	4.95	6.25	7.30	3.20	4.70	5.85	6.85	3.30	4.80	6.05	7.05
3.35	4.85	6.10	7.15	3.15	4.60	5.75	6.70	3.25	4.70	5.90	6.90
3.30	4.80	6.00	7.00	3.10	4.50	5.65	6.60	3.20	4.65	5.80	6.80
3.25	4.70	5.90	6.90	3.05	4.40	5.55	6.45	3.15	4.55	5.70	6.65
3.20	4.60	5.80	6.78	3.00	4.35	5.45	6.35	3.10	4.45	5.60	6.55
3.15	4.55	5.70	6.68	2.95	4.25	5.35	6.25	3.05	4.40	5.50	6.45
3.10	4.45	5.60	6.55	2.90	4.20	5.25	6.15	3.00	4.35	5.45	6.35
3.05	4.40	5.50	6.45	-	-	-	-	2.95	4.25	5.35	6.25
3.00	4.35	5.45	6.35	-	-	-	-	2.90	4.20	5.25	6.15
2.95	4.30	5.35	6.25	-	-	-	-	2.85	4.15	5.20	6.10
2.90	4.20	5.30	6.20	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

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WIND REGION—N3

Roof Load Width	Walls to One Side							
	0.5 Cp'n				0.7 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	—	—	—	—	5.30	7.65	9.60	11.25
1.50	—	—	—	—	7.90	7.10	8.95	10.45
1.80	—	—	—	—	7.60	6.70	8.40	9.80
2.10	—	—	—	—	7.40	6.35	8.00	9.30
2.40	—	—	—	—	7.20	6.10	7.65	8.90
2.70	—	—	—	—	7.05	5.85	7.35	8.55
3.00	—	—	—	—	3.90	5.65	7.10	8.25
3.30	—	—	—	—	3.75	5.45	6.85	8.00
3.60	—	—	—	—	3.65	5.30	6.65	7.80
3.90	—	—	—	—	3.55	5.15	6.50	7.60
4.20	—	—	—	—	3.50	5.05	6.35	7.40
4.50	—	—	—	—	3.40	4.95	6.20	7.20
4.80	—	—	—	—	3.30	4.80	6.05	7.05
5.10	—	—	—	—	3.25	4.75	5.95	6.95
5.40	—	—	—	—	3.20	4.65	5.80	6.80
5.70	—	—	—	—	3.15	4.55	5.70	6.65
6.00	—	—	—	—	3.10	4.50	5.60	6.55
6.30	—	—	—	—	3.05	4.40	5.50	6.45
6.60	—	—	—	—	3.00	4.35	5.45	6.35
6.90	—	—	—	—	2.90	4.25	5.35	6.25

Notes For freestanding structures use Cp'n 0.7 for patios and Cp'n 1 for carports. 200x65 1.2mm Shurelock with CI95-1.9 Insert (Wind load non trafficable and 15kg/m² roof load).

1. Maximum cantilever for 100mm beam = 900mm
2. Maximum cantilever for 150mm beam = 1200mm
3. Maximum cantilever for 200mm beam = 1500mm

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Walls to Two Sides				Walls to Three Sides				Enclosed			
1 Cp'n				1.2 Cp'n				1.1 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
4.70	6.80	8.55	9.95	4.40	6.40	8.05	9.40	4.55	6.60	8.25	9.65
4.35	6.30	7.90	9.25	4.10	5.95	7.45	8.70	4.20	6.10	7.70	8.95
4.10	5.95	7.45	8.70	3.85	5.60	7.00	8.20	3.95	5.75	7.20	8.45
3.90	5.65	7.10	8.25	3.65	5.30	6.65	7.80	3.75	5.45	6.85	8.00
3.70	5.40	6.75	7.90	3.50	5.10	6.35	7.45	3.60	5.25	6.55	7.65
3.60	5.20	6.50	7.60	3.35	4.90	6.10	7.15	3.45	5.05	6.30	7.35
3.45	5.00	6.30	7.35	3.25	4.70	5.90	6.90	3.35	4.85	6.10	7.10
3.35	4.85	6.10	7.10	3.15	4.55	5.75	6.70	3.25	4.70	5.90	6.90
3.25	4.70	5.90	6.90	3.05	4.45	5.55	6.50	3.15	4.55	5.75	6.70
3.15	4.60	5.75	6.70	2.95	4.30	5.40	6.35	3.06	4.45	5.60	6.50
3.10	4.50	5.30	6.55	5.90	4.20	5.30	6.15	3.00	4.35	5.45	6.35
3.00	4.35	5.50	6.40	2.85	4.10	5.15	6.05	2.90	4.25	5.30	6.20
2.95	4.30	5.35	6.25	2.75	4.05	4.95	5.90	2.85	4.15	5.20	6.10
2.90	4.20	5.25	6.15	2.70	3.95	4.80	5.75	2.80	4.05	5.05	5.95
2.85	4.10	5.15	6.05	-	-	-	-	2.75	4.00	4.90	5.80
2.80	4.05	5.00	5.90	-	-	-	-	2.70	3.90	4.75	5.65
2.75	3.95	4.85	5.80	-	-	-	-	2.65	3.80	4.65	5.50
2.70	3.90	4.75	5.65	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

WIND REGION—N4

Roof Load Width	Walls to One Side							
	0.5 Cp'n				0.7 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	-	-	-	-	4.65	6.70	8.40	9.85
1.50	-	-	-	-	4.30	6.25	7.80	9.15
1.80	-	-	-	-	4.05	5.85	7.35	8.60
2.10	-	-	-	-	3.85	5.55	7.00	8.15
2.40	-	-	-	-	3.65	5.35	6.70	7.80
2.70	-	-	-	-	3.55	5.10	6.40	7.50
3.00	-	-	-	-	3.40	4.95	6.20	7.25
3.30	-	-	-	-	3.30	4.80	6.00	7.00
3.60	-	-	-	-	3.20	4.65	5.85	6.80
3.90	-	-	-	-	3.10	4.55	5.70	6.65
4.20	-	-	-	-	3.05	4.40	5.55	6.45
4.50	-	-	-	-	2.95	4.30	5.40	6.35
4.80	-	-	-	-	2.90	4.20	5.30	6.20
5.10	-	-	-	-	2.85	4.15	5.15	6.05
5.40	-	-	-	-	2.80	4.05	5.05	5.95
5.70	-	-	-	-	2.50	4.00	4.90	5.80
6.00	-	-	-	-	-	-	-	-
6.30	-	-	-	-	-	-	-	-
6.60	-	-	-	-	-	-	-	-
6.90	-	-	-	-	-	-	-	-
7.20	-	-	-	-	-	-	-	-
7.50	-	-	-	-	-	-	-	-
7.80	-	-	-	-	-	-	-	-
8.10	-	-	-	-	-	-	-	-
8.40	-	-	-	-	-	-	-	-
8.70	-	-	-	-	-	-	-	-

Notes For freestanding structures use Cp'n 0.7 for patios and Cp'n 1 for carports. 200x65 1.2mm Shurelok with CI95-1.9 Insert (Wind load non trafficable and 15kg/m² roof load).

1. Maximum cantilever for 100mm beam = 900mm
2. Maximum cantilever for 150mm beam = 1200mm
3. Maximum cantilever for 200mm beam = 1500mm.

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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CERTIFICATION AND TESTING

QBCC: A1131996

WIND REGION—C1

Roof Load Width	Walls to One Side							
	0.5 Cp'n				0.7 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	5.90	8.60	10.70	12.55	5.30	7.65	9.60	11.25
1.50	5.50	7.95	9.40	11.65	4.90	7.10	8.95	10.45
1.80	5.15	7.50	8.95	11.00	4.60	6.70	8.40	9.80
2.10	4.90	7.10	8.55	10.45	4.40	6.35	8.00	9.30
2.40	4.70	6.80	8.20	9.95	4.20	6.10	7.65	8.90
2.70	4.50	6.55	7.90	9.60	4.05	5.85	7.35	8.55
3.00	4.35	6.30	7.70	9.25	3.90	5.65	7.10	8.25
3.30	4.20	6.10	7.45	8.95	3.75	5.45	6.85	8.00
3.60	4.10	5.95	7.25	8.70	3.65	5.30	6.65	7.80
3.90	4.00	5.80	7.10	8.50	3.55	5.15	6.50	7.60
4.20	3.90	5.65	6.90	8.25	3.50	5.05	6.35	7.40
4.50	3.80	5.50	6.75	8.10	3.40	4.95	6.20	7.20
4.80	3.70	5.40	6.65	7.90	3.30	4.80	6.05	7.05
5.10	3.65	5.30	6.50	7.75	3.25	4.75	5.95	6.95
5.40	3.60	5.20	6.40	7.60	3.20	4.65	5.80	6.80
5.70	3.50	5.10	6.30	7.45	3.15	4.55	5.70	6.65
6.00	3.45	5.00	6.20	7.35	3.10	4.50	5.60	6.55
6.30	3.40	4.95	6.10	7.20	3.05	4.40	5.50	6.45
6.60	3.35	4.85	6.00	7.10	3.00	4.35	5.45	6.25

Notes For freestanding structures use Cp'n 0.7 for Patios and Cp'n 1 for carports. 200x65 12mm Shurelock with C195-I9 Insert (Wind load non trafficable and 15kg/m² roof load).

- 1. Maximum cantilever for 100mm beam = 900mm
- 2. Maximum cantilever for 150mm beam = 1200mm
- 3. Maximum cantilever for 200mm beam = 1500mm.

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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Private Certifier
QBCC: A1131996

Walls to Two Sides				Walls to Three Sides				Enclosed			
1 Cp'n				1.2 Cp'n				1.6 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
4.70	6.80	8.55	9.95	4.40	6.40	8.05	9.40	4.00	5.80	7.30	8.50
4.35	6.30	7.90	9.25	4.10	5.95	7.45	8.70	3.70	5.40	6.75	7.90
4.10	5.95	7.45	8.70	3.85	5.60	7.00	8.20	3.50	5.10	6.35	7.45
3.90	5.65	7.10	8.25	3.65	5.30	6.65	7.80	3.30	4.80	6.05	7.05
3.70	5.40	6.75	7.90	3.50	5.10	6.35	7.45	3.20	4.60	5.80	6.75
3.60	5.20	6.50	7.60	3.35	4.90	6.10	7.15	3.05	4.45	5.55	6.50
3.45	5.00	6.30	7.35	3.25	4.70	5.90	6.90	2.95	4.30	5.35	6.25
3.35	4.85	6.10	7.10	3.15	4.55	5.75	6.70	2.85	4.15	5.20	6.10
3.25	4.70	5.90	6.90	3.05	4.45	5.55	6.50	2.75	4.05	4.95	5.90
3.15	4.60	5.75	6.70	2.95	4.30	5.40	6.35	2.70	3.90	4.75	5.65
3.10	4.50	5.30	6.55	2.90	4.20	5.30	6.15	2.65	3.80	4.60	5.45
3.00	4.35	5.50	6.40	2.85	4.10	5.15	6.05	2.55	3.65	4.45	5.30
2.95	4.30	5.35	6.25	2.75	4.05	4.95	5.90	2.50	3.55	4.30	5.10
2.90	4.20	5.25	6.15	2.70	3.95	4.80	5.75	2.40	3.40	4.15	4.95
2.85	4.10	5.15	6.05	2.65	3.85	4.70	5.55	2.35	3.35	4.05	4.80
2.80	4.05	5.00	5.90	-	-	-	-	-	-	-	-
2.75	3.95	4.85	5.80	-	-	-	-	-	-	-	-
2.70	-	4.75	5.65	-	-	-	-	-	-	-	-
2.65	-	-	-	-	-	-	-	-	-	-	-

STANDARDS

WINDSPEED

INSULATED
SPANS

SINGLE-SKIN
ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION
DETAILS

DECKS AND
FLOORS

CERTIFICATION
AND TESTING

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
APPROVED



Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

WIND REGION—C2

Roof Load Width	Walls to One Side				Walls to Two Sides			
	0.7 Cp'n				1 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	4.65	6.70	8.40	9.85	4.10	6.70	7.50	8.75
1.50	4.30	6.25	7.80	9.15	3.80	6.25	6.95	8.10
1.80	4.05	5.85	7.35	8.60	3.60	5.85	6.55	7.65
2.10	3.85	5.55	7.00	8.15	3.40	5.55	6.20	7.25
2.40	3.65	5.35	6.70	7.80	3.25	5.35	5.95	6.95
2.70	3.55	5.10	6.40	7.50	3.15	5.10	5.70	6.65
3.00	3.40	4.95	6.20	7.25	3.00	4.95	5.50	6.45
3.30	3.30	4.80	6.00	7.00	2.95	4.80	5.35	6.25
3.60	3.20	4.65	5.85	6.80	2.85	4.65	5.15	6.05
3.90	3.10	4.55	5.70	6.65	2.75	4.55	4.95	5.90
4.20	3.05	4.40	5.55	6.45	2.70	4.40	4.75	5.65
4.50	2.95	4.30	5.40	6.35	2.65	4.30	4.60	5.50
4.80	2.90	4.20	5.30	6.20	2.55	4.20	4.45	5.30
5.10	2.85	4.15	5.15	6.05	2.50	4.15	4.30	5.15
5.40	2.80	4.05	5.05	5.95	-	-	-	-

WIND REGION—C3

Roof Load Width	Walls to One Side				Walls to Two Sides			
	0.7 Cp'n				1 Cp'n			
Beam	100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
1.20	4.05	5.90	7.40	8.65	3.60	5.25	6.55	7.65
1.50	3.75	5.45	6.85	8.00	3.35	4.85	6.10	7.10
1.80	3.55	5.15	6.45	7.55	3.15	4.55	5.75	6.70
2.10	3.35	4.90	6.15	7.15	3.00	4.35	5.45	6.35
2.40	3.20	4.70	5.85	6.85	2.85	4.15	5.20	6.10
2.70	3.10	4.50	5.65	6.60	2.75	4.00	4.90	5.85
3.00	3.00	4.35	5.45	6.35	2.65	3.80	4.65	5.50
3.30	2.90	4.20	5.25	6.15	2.55	3.65	4.45	5.25
3.60	2.80	4.10	5.05	6.00	2.45	3.50	4.25	5.05
3.90	2.75	3.95	4.85	5.80	2.35	3.35	4.05	4.85
4.20	2.65	3.85	4.70	5.60	-	-	-	-
4.50	2.60	3.70	4.55	5.40	-	-	-	-

Notes For freestanding structures use Cp'n 0.7 for Patios and Cp'n 1 for carports. 200x65 1.2mm Shurelock with CI95-L9 Insert (Wind load non trafficable and 15kg/m² roof load).

- 1. Maximum cantilever for 100mm beam = 900mm
- 2. Maximum cantilever for 150mm beam = 1200mm
- 3. Maximum cantilever for 200mm beam = 1500mm

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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Veen Lyall-Wilson

Private Certifier

QBCC: A1131996

Walls to Three Sides				Enclosed			
1.2 Cp'n				1.6 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
3.85	5.60	7.05	8.20	3.50	5.10	6.40	7.45
3.60	5.20	6.55	7.65	3.25	4.75	5.95	6.95
3.35	4.90	6.15	7.20	3.05	4.45	5.60	6.50
3.20	4.65	5.85	6.80	2.90	4.20	5.30	6.20
3.05	4.45	5.60	6.50	2.80	4.06	5.00	5.90
2.95	4.25	5.35	6.25	2.65	3.85	4.70	5.60
2.85	4.15	5.15	6.05	2.55	3.65	4.45	5.30
2.75	4.00	4.90	5.85	2.45	3.50	4.25	5.05
2.65	3.85	4.70	5.60	2.35	3.35	4.05	4.85
2.60	3.70	4.50	5.35	2.25	3.20	3.90	4.65
2.50	3.55	4.35	5.20	2.15	3.10	3.75	4.50
2.40	3.45	4.20	5.00	2.10	3.00	3.65	4.35
2.35	3.35	4.05	4.85	-	-	-	-
-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-

Walls to Three Sides				Enclosed			
1.2 Cp'n				1.6 Cp'n			
100x65	150x65	200x65	200x65 Insert	100x65	150x65	200x65	200x65 Insert
3.40	4.90	6.20	7.20	3.10	4.45	5.60	6.55
3.15	4.55	5.75	6.70	2.85	4.15	5.20	6.10
2.95	4.30	5.40	6.30	2.70	3.90	4.75	5.65
2.80	4.10	5.05	6.00	2.55	3.60	4.40	5.20
2.70	3.90	4.75	5.65	2.35	3.35	4.10	4.90
2.60	3.65	4.45	5.30	2.25	3.20	3.85	4.60
2.45	3.50	4.25	5.05	2.10	3.00	3.65	4.35
2.35	3.30	4.05	4.80	2.00	2.85	3.50	4.15
2.25	3.20	3.85	4.60	1.95	2.75	3.35	4.00
-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
APPROVED



Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

STANDARDS

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SPANS

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CONNECTION
DETAILS

DECKS AND
FLOORS

CERTIFICATION
AND TESTING

F17 KD HARDWOOD

N1 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	3.30	3.80	4.70	5.00	5.60	5.90	3.60	4.20	4.90	5.30	5.80	6.20
2.00	2.80	3.20	3.90	4.20	4.70	5.00	3.00	3.50	4.10	4.50	5.00	5.30
3.00	2.30	2.70	3.30	3.70	4.20	4.30	2.50	2.90	3.60	4.00	4.40	4.70
4.00	2.00	2.40	2.90	3.20	3.60	3.80	2.20	2.60	3.10	3.50	4.00	4.30
5.00	1.80	2.10	2.60	2.90	3.30	3.40	2.00	2.30	2.80	3.10	3.60	4.00
6.00	1.70	1.90	2.40	2.70	3.00	3.10	1.80	2.10	2.60	2.90	3.30	3.60
7.00	1.50	1.80	2.20	2.40	2.80	2.90	1.70	2.00	2.40	2.70	3.10	3.40

N2 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	3.10	3.60	4.40	4.90	5.60	5.90	3.40	3.90	4.80	5.30	5.80	6.20
2.00	2.40	2.80	3.50	3.70	4.00	4.10	2.70	3.10	3.80	4.20	4.90	5.30
3.00	2.10	2.40	2.80	3.00	3.30	3.40	2.30	2.70	3.30	3.70	4.20	4.50
4.00	1.80	2.10	2.40	2.60	2.80	2.90	2.00	2.40	2.90	3.20	3.70	3.90
5.00	1.60	1.90	2.20	2.30	2.50	2.60	1.80	2.10	2.60	2.90	3.30	3.50
6.00	1.50	1.70	2.00	2.20	2.30	2.40	1.70	1.90	2.40	2.70	3.00	3.20
7.00	1.40	1.60	1.90	2.00	2.20	2.20	1.50	1.80	2.20	2.50	2.80	3.00

N3 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	2.70	3.10	3.80	4.30	4.60	4.70	2.90	3.40	4.20	4.70	5.40	5.90
2.00	2.00	2.40	2.80	3.00	3.20	3.30	2.30	2.70	3.30	3.70	4.20	4.40
3.00	1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.70	3.00	3.40	3.60
4.00	1.40	1.70	2.00	2.10	2.30	2.30	1.60	1.90	2.30	2.60	3.00	3.10
5.00	1.30	1.50	1.80	1.90	2.00	2.10	1.50	1.70	2.10	2.30	2.70	2.80
6.00	1.20	1.40	1.60	1.70	1.90	1.90	1.30	1.60	1.90	2.10	2.40	2.60
7.00	1.10	1.30	1.50	1.60	1.70	1.80	1.20	1.40	1.80	2.00	2.20	2.40

Note: All coefficients have been applied.

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Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
APPROVED

Veen Lyall-Wilson
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Double Beams—35mm						Double Beams—45mm					
2/120 x 35	2/140 x 35	2/170 x 35	2/190 x 35	2/220 x 35	2/240 x 35	2/120 x 45	2/140 x 45	2/170 x 45	2/190 x 45	2/220 x 45	2/240 x 45
4.10	4.60	5.30	5.60	6.20	6.60	4.30	4.80	5.40	5.80	6.40	6.80
3.40	3.90	4.50	4.90	5.40	5.70	3.60	4.10	4.70	5.10	5.70	6.00
2.90	3.40	4.00	4.40	4.90	5.20	3.10	3.60	4.30	4.60	5.10	5.40
2.50	3.00	3.60	4.00	4.40	4.00	2.80	3.20	3.90	4.20	4.70	5.00
2.30	2.70	3.20	3.60	4.10	4.40	2.50	2.90	3.50	3.90	4.40	4.70
2.10	2.50	3.00	3.30	3.80	4.10	2.30	2.70	3.20	3.60	4.10	4.40
1.90	2.30	2.70	3.10	3.60	3.90	2.10	2.50	3.00	3.30	3.80	4.10

Double Beams—35mm						Double Beams—45mm					
2/120 x 35	2/140 x 35	2/170 x 35	2/190 x 35	2/220 x 35	2/240 x 35	2/120 x 45	2/140 x 45	2/170 x 45	2/190 x 45	2/220 x 45	2/240 x 45
3.90	4.50	5.30	5.60	6.20	6.60	4.20	4.80	5.40	5.80	6.40	6.80
3.10	3.60	4.40	4.90	5.40	5.70	3.40	3.90	4.70	5.10	5.70	6.00
2.70	3.10	3.80	4.30	4.90	5.10	2.90	3.40	4.20	4.60	5.10	5.40
2.40	2.80	3.50	3.90	4.30	4.40	2.70	3.10	3.80	4.20	4.70	5.00
2.30	2.60	3.20	3.60	3.90	4.00	2.50	2.90	3.50	3.90	4.40	4.70
2.10	2.40	3.00	3.30	3.50	3.60	2.30	2.70	3.20	3.60	4.10	4.40
1.90	2.30	2.70	3.00	3.30	3.40	2.10	2.50	3.00	3.30	3.80	4.10

Double Beams—35mm						Double Beams—45mm					
2/120 x 35	2/140 x 35	2/170 x 35	2/190 x 35	2/220 x 35	2/240 x 35	2/120 x 45	2/140 x 45	2/170 x 45	2/190 x 45	2/220 x 45	2/240 x 45
3.40	4.00	4.80	5.40	6.20	6.60	3.70	4.30	5.30	5.80	6.40	6.80
2.70	3.10	3.80	4.30	4.90	5.10	2.90	3.40	4.20	4.70	5.40	5.90
2.30	2.70	3.30	3.70	4.00	4.10	2.60	3.00	3.60	4.10	4.70	5.20
2.10	2.50	3.00	3.20	3.50	3.60	2.30	2.70	3.30	3.70	4.30	4.70
2.00	2.30	2.70	2.90	3.10	3.20	2.10	2.50	3.10	3.40	4.00	4.30
1.80	2.10	2.50	2.60	2.80	2.90	2.00	2.40	2.90	3.20	3.70	4.00
1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.70	3.00	3.40	3.60

Pronto Building Approvals

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STANDARDS

WINDSPEED

INSULATED
SPANS

SINGLE-SKIN
ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION
DETAILS

DECKS AND
FLOORS

CERTIFICATION
AND TESTING

F17 KD HARDWOOD
N4 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	2.40	2.80	3.20	3.50	3.70	3.90	2.60	3.00	3.70	4.10	4.80	5.20
2.00	1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.70	3.00	3.40	3.60
3.00	1.30	1.60	1.80	2.00	2.10	2.20	1.50	1.80	2.20	2.50	2.80	3.00
4.00	1.20	1.40	1.60	1.70	1.80	1.90	1.30	1.60	1.90	2.10	2.40	2.60
5.00	1.00	1.20	1.40	1.50	1.70	1.70	1.20	1.40	1.70	1.90	2.20	2.30
6.00	0.90	1.10	1.30	1.40	1.50	1.60	1.10	1.30	1.50	1.70	2.00	2.10
7.00	0.90	1.00	1.20	1.30	1.40	1.40	1.00	1.20	1.40	1.60	1.80	1.90

C1 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	2.70	3.10	3.80	4.30	4.60	4.70	2.90	3.40	4.20	4.70	5.40	5.90
2.00	2.00	2.40	2.80	3.00	3.20	3.30	2.30	2.70	3.30	3.70	4.200	4.40
3.00	1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.80	3.00	3.400	3.60
4.00	1.40	1.70	2.00	2.10	2.30	2.30	1.60	1.90	2.30	2.60	3.000	3.10
5.00	1.30	1.50	1.80	1.90	2.00	2.10	1.50	1.70	2.10	2.30	2.700	2.80
6.00	1.20	1.40	1.60	1.70	1.90	1.90	1.30	1.60	1.90	2.10	2.400	2.60
7.00	1.10	1.30	1.50	1.60	1.70	1.80	1.20	1.40	1.80	2.00	2.200	2.40

C2 SPANS

Roof Load Width	Single Beam—35mm						Single Beam—45mm					
	120 x 35	140 x 35	170 x 35	190 x 35	220 x 35	240 x 35	120 x 45	140 x 45	170 x 45	190 x 45	220 x 45	240 x 45
1.00	2.40	2.80	3.20	3.500	3.70	3.90	2.60	3.00	3.70	4.10	4.80	5.20
2.00	1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.70	3.00	3.40	3.60
3.00	1.30	1.60	1.80	2.00	2.10	2.20	1.50	1.80	2.20	2.50	2.80	3.00
4.00	1.20	1.40	1.60	1.70	1.80	1.90	1.30	1.60	1.90	2.10	2.40	2.60
5.00	1.00	1.20	1.40	1.50	1.70	1.70	1.20	1.40	1.70	1.90	2.20	2.30
6.00	0.90	1.10	1.30	1.40	1.50	1.60	1.100	1.30	1.50	1.70	2.00	2.10
7.00	0.90	1.00	1.20	1.30	1.40	1.40	1.00	1.20	1.40	1.60	1.80	1.90

Note All coefficients have been applied.

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Double Beams—35mm						Double Beams—45mm					
2/120 x35	2/140 x35	2/170 x35	2/190 x35	2/220 x35	2/240 x35	2/120 x45	2/140 x45	2/170 x45	2/190 x45	2/220 x45	2/240 x45
3.00	3.50	4.30	4.80	5.50	5.90	3.30	3.80	4.60	5.20	6.00	6.60
2.40	2.80	3.40	3.70	4.00	4.10	2.60	3.00	3.70	4.10	4.80	5.20
2.10	2.40	2.80	3.00	3.30	3.40	2.30	2.60	3.20	3.60	4.20	4.50
1.80	2.10	2.40	2.60	2.80	2.90	2.00	2.40	2.90	3.20	3.70	3.90
1.60	1.90	2.20	2.30	2.50	2.60	1.80	2.10	2.60	2.90	3.30	3.50
1.50	1.70	2.00	2.10	2.30	2.40	1.70	1.90	2.40	2.60	3.00	3.20
1.30	1.60	1.80	2.00	2.10	2.20	1.50	1.80	2.20	2.50	2.80	2.90

Double Beams—35mm						Double Beams—45mm					
2/120 x35	2/140 x35	2/170 x35	2/190 x35	2/220 x35	2/240 x35	2/120 x45	2/140 x45	2/170 x45	2/190 x45	2/220 x45	2/240 x45
3.40	4.00	4.80	5.40	6.20	6.60	3.70	4.30	5.30	5.80	6.40	6.80
2.70	3.10	3.80	4.30	4.90	5.10	2.90	3.40	4.20	4.70	5.40	5.90
2.30	2.70	3.30	3.70	4.00	4.10	2.60	3.00	3.60	4.10	4.70	5.20
2.10	2.50	3.00	3.20	3.50	3.60	2.30	2.70	3.30	3.70	4.30	4.70
2.00	2.30	2.70	2.90	3.10	3.20	2.10	2.50	3.10	3.40	4.00	4.30
1.80	2.10	2.50	2.60	2.80	2.90	2.00	2.40	2.90	3.20	3.70	3.90
1.70	1.90	2.30	2.40	2.60	2.70	1.90	2.20	2.70	3.00	3.40	3.60

Double Beams—35mm						Double Beams—45mm					
2/120 x35	2/140 x35	2/170 x35	2/190 x35	2/220 x35	2/240 x35	2/120 x45	2/140 x45	2/170 x45	2/190 x45	2/220 x45	2/240 x45
3.00	3.50	4.30	4.80	5.50	5.90	3.30	3.80	4.60	5.20	6.00	6.60
2.40	2.80	3.40	3.70	4.00	4.10	2.60	3.00	3.70	4.10	4.80	5.20
2.10	2.40	2.80	3.00	3.30	3.40	2.30	2.60	3.20	3.60	4.20	4.50
1.80	2.10	2.40	2.60	2.80	2.90	2.00	2.40	2.90	3.20	3.70	3.90
1.60	1.90	2.20	2.30	2.50	2.60	1.80	2.10	2.60	2.90	3.30	3.50
1.50	1.70	2.00	2.10	2.30	2.40	1.70	1.90	2.40	2.60	3.00	3.20
1.30	1.60	1.80	2.00	2.10	2.20	1.50	1.80	2.20	2.50	2.80	2.90

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

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Pronto Building Approvals

Reference: 231479

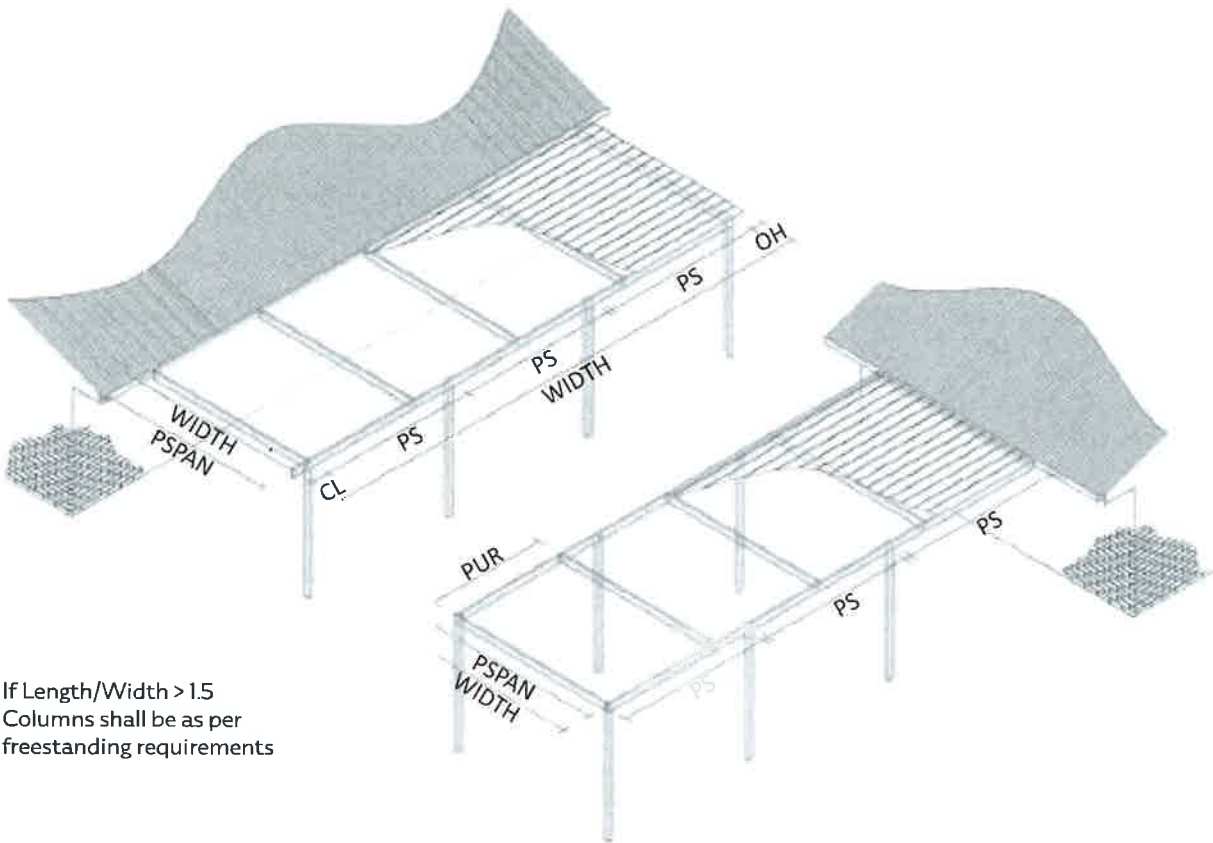
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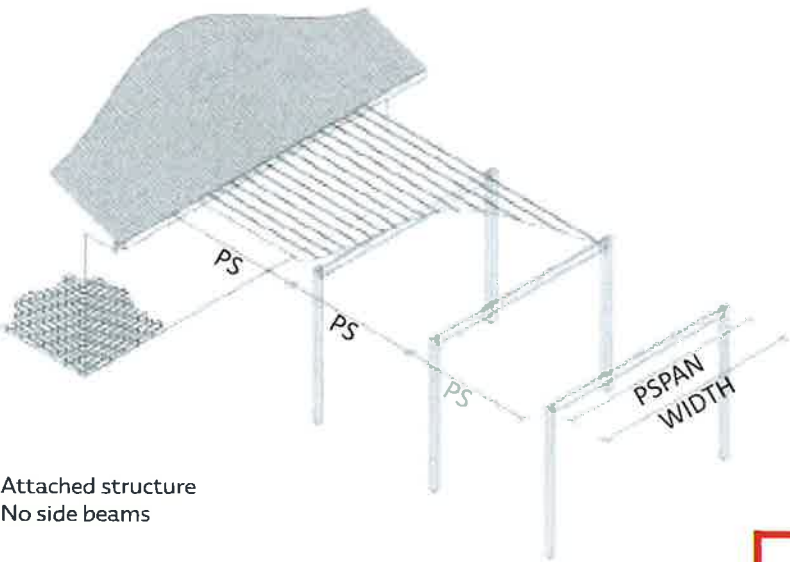


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FLAT PATIOS/CARPORTS—OPEN STRUCTURES
CONTINUOUS SPANS



If Length/Width > 1.5
Columns shall be as per
freestanding requirements



Attached structure
No side beams

RS Roof Sheet Span
OH Roof Sheet Overhang

CL Cantilever
PS Post Spacing

Pronto Building Approvals
Reference: 231479
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BS Beam/Rafter Spacing

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ALLOWABLE BEAM SPANS
FLAT PATIOS/CARPORTS—OPEN STRUCTURES

Wind Class		NI/N2				N3				N4			
	Purlin Span (mm)	Post Spacing	Purlin Spacing		Post/Footing Load (kN)	Post Spacing	Purlin Spacing		Post/Footing Load (kN)	Post Spacing	Purlin Spacing		Post/Footing Load (kN)
			0.42	0.48			0.42	0.48			0.42	0.48	
100 x 65	3000	5670	4650	5150	6.84	5060	4600	4900	9.11	4540	4400	4600	8.18
	3600	5340	4650	5150	6.93	4760	4600	4900	9.46	3950	3760	3760	8.00
	4200	5070	4650	4740	7.31	4520	3360	3360	10.17	3380	2370	2370	7.61
	4800	4850	3180	3180	7.69	4320	2250	2250	10.70	2900	1590	1590	7.18
	5400	4660	2230	2230	8.06	3840	1580	1580	10.37	2630	1110	1110	7.11
	6000	4500	1630	1630	8.43	3450	1150	1150	10.1	2370	810	810	6.94
	6600	4360	1220	1220	8.79	3140	860	860	9.90	2150	610	610	6.78
	7200	4240	940	940	9.16	2880	670	670	9.72	1970	470	470	6.65
	7800	4010	740	740	9.24	2660	520	520	9.58	1820	370	370	6.56
	8400	3720	590	590	9.11	2470	420	420	9.45	1690	300	300	6.47
150 x 65	3000	8100	4650	5150	9.34	7200	4600	4900	12.96	6430	4400	4600	11.58
	3600	7620	4650	5150	9.88	6790	4600	4900	13.75	5500	4400	4600	11.14
	4200	7240	4650	5150	10.43	6450	4600	4900	14.52	4710	4400	4600	10.60
	4800	6920	4650	5150	10.97	6010	4600	4900	14.88	4120	4400	4600	10.20
	5400	6660	4650	5150	11.51	5350	4600	4600	14.45	3670	3240	3240	9.91
	6000	6430	4650	4730	12.04	4810	3350	3350	14.07	3300	2360	2360	9.66
	6600	6230	3560	3560	12.56	4370	2520	2520	13.77	3000	1780	1780	9.45
	7200	6060	2740	2740	13.09	4010	1940	1940	13.54	2750	1370	1370	9.29
	7800	5590	2150	2150	12.88	3700	1530	1530	13.32	2540	1080	1080	9.15
	8400	5190	1730	1730	12.71	3440	1220	1220	13.16	2300	860	860	8.18
200 x 65	3000	10100	4650	5150	11.64	9000	4600	4900	16.20	7960	4400	4600	14.33
	3600	9510	4650	5150	12.33	8470	4600	4900	17.16	6640	4400	4600	13.45
	4200	9030	4650	5150	13.01	8050	4600	4900	18.12	5690	4400	4600	12.81
	4800	8310	4650	5150	13.17	7260	4600	4900	17.97	4980	4400	4600	12.33
	5400	7640	4650	5150	13.21	6450	4600	4900	17.42	4420	4400	4600	11.94
	6000	8020	4650	5150	15.02	5810	4600	4900	17.00	3980	4400	4590	11.65
	6600	7770	4650	5150	15.67	5280	4600	4890	16.64	3620	3450	3450	11.41
	7200	7300	4650	5150	15.77	4840	3770	3770	16.34	3320	2660	2660	11.17
	7800	6740	4180	4180	15.53	4470	2960	2960	16.10	3060	2090	2090	10.92
	8400	6260	3350	3350	15.33	4150	2370	2370	15.88	2840	1650	1650	10.69

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Date: 13/12/2023

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ALLOWABLE BEAM SPANS
FLAT PATIOS/CARPORTS—OPEN STRUCTURES

Wind Class		C1			C2			C3		
	Purlin Span (mm)	Post Spacing	Purlin Spacing 0.48	Post/Footing Load (kN)	Post Spacing	Purlin Spacing 0.48	Post/Footing Load (kN)	Post Spacing	Purlin Spacing 0.48	Post/Footing Load (kN)
100 x 65	3000	3950	2950	7.11	2680	1850	4.96	1840	900	7.27
	3600	3290	2950	6.67	2240	1850	5.57	1530	900	6.80
	4200	2820	2490	6.35	1920	1720	5.76	-	-	-
	4800	2470	1670	6.12	1680	1150	4.24	-	-	-
	5400	2190	1170	5.92	1490	810	3.26	-	-	-
	6000	1970	850	5.77	3450	-	-	-	-	-
	6600	1790	640	5.64	3140	-	-	-	-	-
	7200	1640	-	5.54	2880	-	-	-	-	-
	7800	1520	-	5.48	2660	-	-	-	-	-
	8400	1410	-	5.40	2470	-	-	-	-	-
150 x 65	3000	5500	2950	9.90	3740	1850	10.01	2560	900	10.11
	3600	4580	2950	9.28	3110	1850	9.37	2130	900	9.47
	4200	3930	2950	8.85	2670	1850	8.94	1830	900	9.04
	4800	3440	2950	8.52	2340	1850	8.62	1600	900	8.69
	5400	3050	2950	8.24	2080	1850	8.35	1420	900	8.41
	6000	2750	2480	8.05	1870	1720	8.14	-	-	-
	6600	2500	1860	7.88	1700	1290	7.97	-	-	-
	7200	2290	1440	7.73	1560	990	7.83	-	-	-
	7800	2110	1130	7.60	1440	780	7.71	-	-	-
	8400	1960	900	7.50	-	-	-	-	-	-
200 x 65	3000	6640	2950	11.96	4510	1850	12.07	3090	900	12.20
	3600	5530	2950	11.20	3760	1850	11.32	2570	900	11.42
	4200	4740	2950	10.06	3220	1850	10.78	2210	900	10.91
	4800	4150	2950	10.28	2820	1850	10.38	1930	900	10.48
	5400	3690	2950	9.97	2510	1850	10.08	1720	900	10.19
	6000	3320	2950	9.72	2260	1850	9.83	1540	900	9.88
	6600	3020	2950	9.52	2050	1850	9.61	1400	900	9.68
	7200	2760	2650	9.32	1880	1820	9.44	-	-	-
	7800	2550	2190	9.18	1730	1520	9.26	-	-	-
	8400	2370	1760	9.07	1610	1520	9.16	-	-	-

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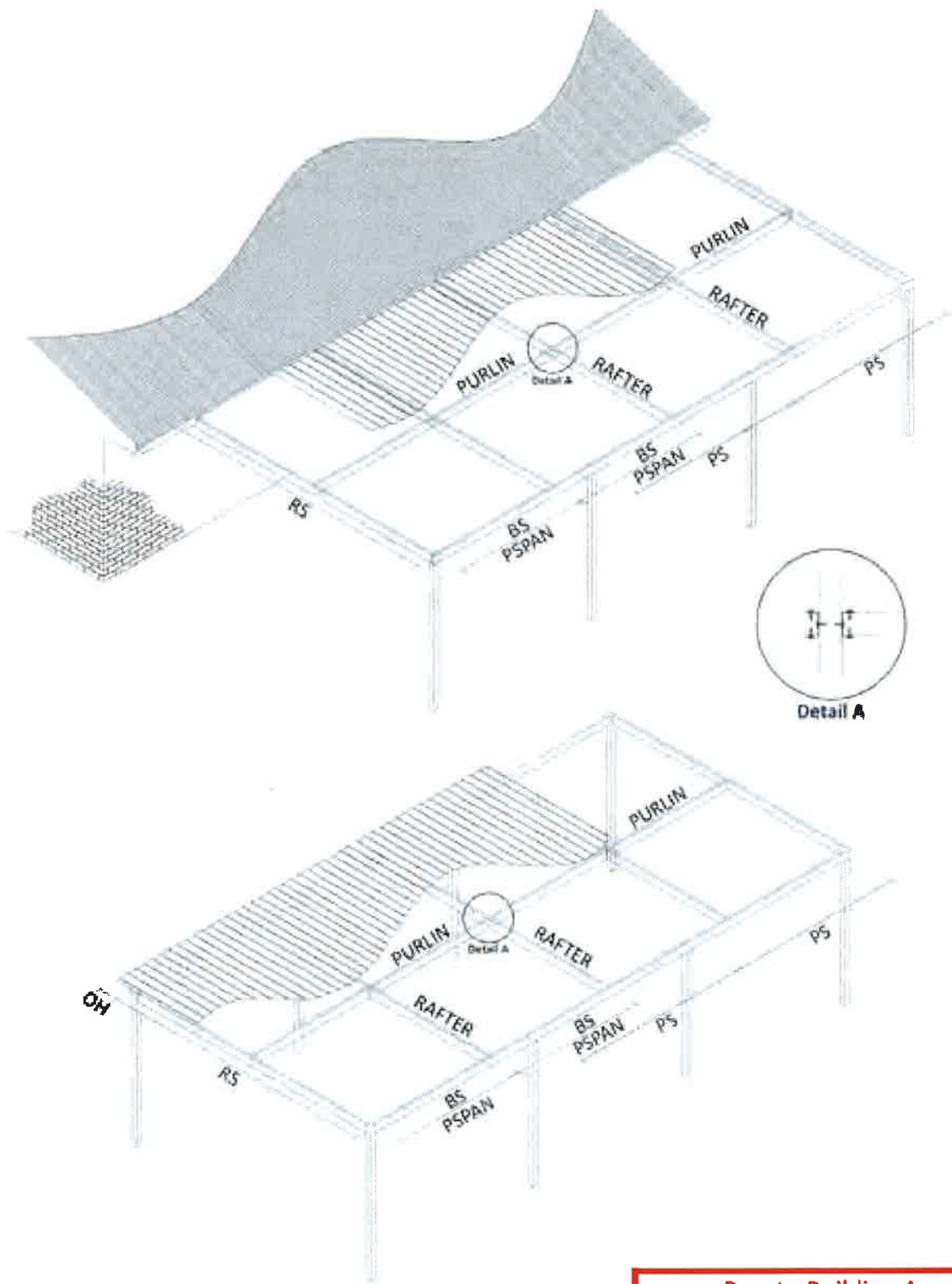
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* Shall be the lesser of the tabulated values for the rafter beam spacing or purlin span.
* Member sizes may be mixed to achieve the most economical structure.

- | | | | |
|----|---------------------|----|--------------|
| RS | Roof Sheet Span | CL | Cantilever |
| OH | Roof Sheet Overhang | PS | Post Spacing |

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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OPEN AND PARTIALLY ENCLOSED STRUCTURES (CP'N—0.5/0.7/1.0/1.2)

Wind Class	Roof Load Width (mm)	Maximum Rafter Spacing			No. of Purlins	Maximum Span of Purlins			Maximum Post Spacing		
		100 x 65	150 x 65	200 x 65		100 x 65	150 x 65	200 x 65	100 x 65	150 x 65	200 x 65
N1/ N2	2325	4760	6600	7940	1	4760	6600	7940	6840	8850	8880
	2525	4100	6090	7330	1	4390	6090	7330	5810	8620	8650
	2725	3020	5650	6800	1	4070	5650	6800	4410	8410	8440
	2925	2280	5270	6340	1	3800	5270	6340	3390	8210	8230
	3125	1750	4940	5940	1	3560	4940	5940	2640	8020	8040
	3325	1360	3970	5590	1	3340	4650	5590	2090	7620	7870
	3525	1080	3140	5280	1	3160	4390	5280	—	6440	7700
	3725	—	2520	4890	1	2990	4150	5000	—	5490	7550
	3925	—	2040	3970	1	2840	3940	4750	—	4720	7400
	4125	—	1670	3250	1	2700	3760	4520	—	4090	7260
	4325	—	1390	2690	1	3580	3580	4320	—	3560	6880
	4525	—	1160	2250	1	2460	3430	4130	—	3120	6030
	4725	—	—	1890	2	3530	4900	5900	—	2760	5320
	4925	—	—	1600	2	3390	4700	5660	—	2440	4720
N3	2325	3910	5430	6540	1	3910	5430	6540	5620	6890	6900
	2525	3320	5010	6030	1	3600	5010	6030	5420	6710	6720
	2725	2850	4640	5590	1	3340	4640	5590	4410	6540	6550
	2925	2280	4330	5220	1	3120	4330	5220	3390	6390	6400
	3125	1750	4060	4890	1	2920	4060	4890	2640	6240	6250
	3325	1360	3710	4600	1	2740	3810	4600	2090	5460	6110
	3525	1080	3140	4340	1	2590	3600	4340	—	4610	5980
	3725	—	2520	4110	1	2450	3410	4110	—	3930	5860
	3925	—	2040	3880	1	2330	3240	3900	—	3380	5750
	4125	—	1670	3250	1	2210	3080	3710	—	2920	5640
	4325	—	1390	2690	1	2110	2940	3540	—	2550	4930
	4525	—	1160	2250	2	3020	4200	5060	—	2230	4320
	4725	—	—	1890	2	2890	4020	4850	—	1970	3810
	4925	—	—	1600	2	2780	3960	4650	—	—	3370
N4	2325	2700	4530	5460	1	3260	4530	5460	4680	5560	5570
	2525	2290	4170	5030	1	3000	4170	5030	4510	5410	5420
	2725	1960	3810	4660	1	2780	3870	4660	4220	5280	5290
	2925	1700	3300	4350	1	2590	3610	4350	3390	5150	5160
	3125	1490	2890	4070	1	2430	3380	4070	2640	4660	5040
	3325	1320	2560	3720	1	2280	3180	3830	2090	3890	4930
	3525	1080	2270	3310	1	2150	3000	3610	—	3280	4830
	3725	—	2040	2970	1	2040	2840	3420	—	2800	4730
	3925	—	1840	2670	1	1940	2690	3250	—	2400	4640
	4125	—	1660	2420	1	1840	2530	3090	—	2090	4520
	4325	—	1390	2200	2	2630	3650	4410	—	1810	4350
	4525	—	1160	2010	2	2520	3550	4220	—	1510	4070
	4725	—	—	1840	2	2410	3350	4040	—	1210	3710
	4925	—	—	1600	2	2310	3220	3820	—	910	3400

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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BUILDING APPROVALSVeen Lyall-Wilson
Private Certifier
QBCC: A1131996

Wind Class	Roof Load Width(mm)	Maximum Rafter Spacing			No. of Purlins	Maximum Span of Purlins			Maximum Post Spacing		
		100 x 65	150 x 65	200 x 65		100 x 65	150 x 65	200 x 65	100 x 65	150 x 65	200 x 65
C1	2325	3910	5430	6540	1	3910	5430	6540	5280	6890	6900
	2525	3320	5010	6030	1	3600	5010	6030	4170	6710	6720
	2725	2850	4640	5590	1	3340	4640	5590	3350	6540	6550
	2925	2280	4330	5220	1	3120	4330	5220	2730	6390	6400
	3125	1750	4060	4890	1	2920	4060	4890	2260	6240	6250
	3325	1360	3710	4600	1	2740	3810	4600	1890	5460	6110
	3525	1080	3140	4340	1	2590	3600	4340	-	4610	5980
	3725	-	2520	4110	1	2450	3410	4110	-	3930	5860
	3925	-	2040	3880	1	2330	3240	3900	-	3380	5750
	4125	-	1670	3250	1	2210	3080	3710	-	2290	5640
	4325	-	1390	2690	2	3160	4390	5290	-	2550	4930
	4525	-	1160	2250	2	3020	4200	5060	-	2230	4320
	4725	-	-	1890	2	2890	4020	4850	-	1970	3810
	4925	-	-	1600	2	2780	3860	4650	-	-	3370
C2	2325	2700	4350	5460	1	3260	4530	5460	4680	5560	5570
	2525	2290	4170	5030	1	3000	4170	5030	4170	5410	5420
	2725	1960	3810	4660	1	2780	3870	4660	3350	5280	5290
	2925	1700	3300	4350	1	2590	3610	4350	2730	5150	5160
	3125	1490	2890	4070	1	2430	3380	4070	2260	4660	5040
	3325	1320	2560	3720	1	2280	3180	3830	1890	3890	4930
	3525	1080	2280	3310	2	3220	4480	5400	-	3280	4830
	3725	-	2040	2970	2	3050	4240	5110	-	2800	4730
	3925	-	1840	2670	2	2900	4030	4860	-	2400	4640
	4125	-	1660	2420	2	2760	3840	4620	-	2080	4020
	4325	-	1390	2200	2	2630	3660	4410	-	1810	3510
	4525	-	1160	2010	2	2520	3500	4220	-	-	3070
	4725	-	-	1840	2	2410	3350	4040	-	-	2710
	4925	-	-	1600	2	2310	3220	3880	-	-	2400
C3	2325	1860	3620	4550	1	2710	3780	4550	3900	4540	4540
	2525	1580	3070	4460	2	3740	5200	6270	3340	4420	4420
	2725	1360	2630	3830	2	3470	4830	5810	2730	4310	4310
	2925	1180	2280	3330	2	3230	4500	5420	2260	4030	4210
	3125	1030	2000	2910	2	3030	4210	5080	1890	3330	4110
	3325	-	1770	2570	2	2850	3960	4770	-	2780	4020
	3525	-	1570	2290	2	2690	3740	4510	-	2350	3940
	3725	-	1410	2050	2	2540	3540	4260	-	2000	3860
	3925	-	1270	1850	3	3210	4470	5390	-	3330	3330
	4125	-	1150	1670	3	3060	4250	5130	-	2810	2810
	4325	-	1040	1520	3	2920	4060	4890	-	2510	2510
	4525	-	-	1390	3	2790	3880	4680	-	2200	2200
	4725	-	-	1270	3	2670	3720	4480	-	1930	1930
	4925	-	-	1170	3	2560	3570	4300	-	1730	1730

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

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Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

ENCLOSED STRUCTURES (CP'N 1.1)

Wind Class	Roof Load Width (mm)	Maximum Rafter Spacing			No. of Purlins	Maximum Span of Purlins			Maximum Post Spacing		
		100 x 65	150 x 65	200 x 65		100 x 65	150 x 65	200 x 65	100 x 65	150 x 65	200 x 65
N1/ N2	2325	3860	4360	5270	1	3960	4360	5270	5670	5680	5690
	2525	3270	4020	4850	1	3640	4020	4850	5090	5470	5480
	2725	2720	3720	4490	1	3370	3720	4490	4070	5290	5290
	2925	2200	3460	4180	1	3140	3460	4180	3310	5120	5120
	3125	1750	4140	5890	1	2940	4870	5890	2640	4960	4970
	3325	1360	3660	5330	1	2760	4580	5530	2090	4820	4830
	3525	1080	3140	4740	1	2600	4320	5210	-	4690	4700
	3725	-	2520	4250	1	2460	4080	4930	-	4570	4580
	3925	-	2040	3820	1	2340	3870	5680	-	4070	4470
	4125	-	1670	3250	1	2220	3690	4450	-	3510	4360
	4325	-	1390	2690	2	3190	3510	4240	-	3050	4270
	4525	-	1160	2250	2	3040	4480	5420	-	2670	4180
	4725	-	-	1890	2	2910	4290	5190	-	2350	4090
	4925	-	-	1600	2	2800	4120	4970	-	2080	4010
N3	2325	3860	4360	5270	1	3960	4360	5270	5670	5680	5690
	2525	3270	4020	4850	1	3640	4020	4850	5090	5470	5480
	2725	2720	3720	4490	1	3370	3720	4490	4070	5290	5290
	2925	2200	3460	4180	1	3140	3460	4180	3310	5120	5120
	3125	1750	4140	5890	1	2940	4870	5890	2640	4960	4970
	3325	1360	3660	5330	1	2760	4580	5530	2090	4820	4830
	3525	1080	3140	4740	1	2600	4320	5210	-	4690	4700
	3725	-	2520	4250	1	2460	4080	4930	-	4570	4580
	3925	-	2040	3820	1	2340	3870	5680	-	4070	4470
	4125	-	1670	3250	1	2220	3690	4450	-	3510	4360
	4325	-	1390	2690	2	3190	3510	4240	-	3050	4270
	4525	-	1160	2250	2	3040	4480	5420	-	2670	4180
	4725	-	N/A	1890	2	2910	4290	5190	-	2350	4090
	4925	-	N/A	1600	2	2800	4120	4970	-	2080	4010
N4	2325	1610	3130	3080	1	3890	8710	10930	2580	3660	3660
	2525	1370	2650	2610	1	3730	8750	10980	2030	3520	3530
	2725	1110	2280	2240	1	3520	8510	10670	-	3410	3410
	2925	-	1980	1940	1	3280	8560	10740	-	3300	3300
	3125	-	1730	1700	1	3070	8610	10790	-	3180	3200
	3325	-	1530	1500	1	2890	8650	10840	-	2650	3110
	3525	-	1360	1340	2	3860	8680	10880	-	2240	3030
	3725	-	1220	1200	2	3760	8510	10670	-	1900	2950
	3925	-	1080	1080	2	3660	8540	10710	-	1880	2890
	4125	-	-	-	2	3480	8530	10760	-	1840	2840
	4325	-	-	-	2	3320	8610	10800	-	1880	2880
	4525	-	-	-	2	3180	8640	10830	-	2090	2990
	4725	-	-	-	2	3050	8500	10660	-	1840	2840
	4925	-	-	-	2	2920	8530	10710	-	1880	2880

Pronto Building Approvals

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ENCLOSED STRUCTURES (CP'N 1.6)

Wind Class	Roof Load Width(mm)	Maximum Rafter Spacing			No. of Purlins	Maximum Span of Purlins			Maximum Spacing of Edge Beam Posts		
		100 x 65	150 x 65	200 x 65		100 x 65	150 x 65	200 x 65	100 x 65	150 x 65	200 x 65
C1	2325	2430	4360	5270	1	3130	4360	5270	4000	4490	4500
	2525	2060	3990	4850	1	2880	4020	4850	3140	4330	4330
	2725	1700	3430	4490	1	2670	3720	4490	2520	4180	4190
	2925	1380	2970	4180	1	2480	3460	4180	2040	4050	4050
	3125	1130	2600	3790	2	3490	4870	5890	-	3930	3930
	3325	-	2300	3350	2	3280	4580	5530	-	3820	3820
	3525	-	2050	2980	2	3100	4320	5210	-	3460	3720
	3725	-	1830	2670	2	2930	4080	4930	-	2940	3620
	3925	-	1650	2410	2	2780	3870	4680	-	2520	3540
	4125	-	1430	2180	2	2640	3690	4450	-	2180	3450
	4325	-	1240	1980	2	2520	3510	4240	-	1890	3380
	4525	-	1080	1810	3	3220	4480	5420	-	-	3220
	4725	-	-	1660	3	3080	4290	5190	-	-	2840
	4925	-	-	1530	3	2950	4120	4970	-	-	2510
C2	2325	1610	3130	4560	2	4570	6540	7850	2580	3660	3660
	2525	1370	2650	3870	2	4450	6360	7590	2030	3520	3530
	2725	1110	2280	3320	2	4430	6130	7360	-	3410	3410
	2925	-	1980	2880	3	4670	6680	8030	-	3300	3300
	3125	-	1730	2520	3	4560	6530	7820	-	3180	3200
	3325	-	1530	2230	3	4460	6390	7630	-	2650	3110
	3525	-	1360	1980	3	4380	6230	7450	-	3460	3030
	3725	-	1220	1780	4	4640	6630	7970	-	2240	2950
	3925	-	1650	1600	4	4550	6520	7810	-	1900	2880
	4125	-	1080	1450	4	4480	6400	7650	-	-	2740
	4325	-	-	1320	4	4400	6290	7510	-	-	2380
	4525	-	-	1200	4	4340	6140	7370	-	-	2090
	4725	-	-	1100	4	4550	6510	7800	-	-	1840
	4925	-	-	1020	4	4480	6420	7670	-	-	-
C3	2325	1090	2110	3080	9	6070	8710	10930	-	3000	3000
	2525	-	1790	2610	10	6100	8750	10980	-	2890	2890
	2725	-	1540	2240	10	5930	8510	10670	-	2800	2800
	2925	-	1340	1940	11	5970	8560	10740	-	2590	2710
	3125	-	1170	1700	12	6000	8610	10790	-	2140	2630
	3325	-	1030	1500	13	6020	8650	10840	-	-	2550
	3525	-	-	1340	14	6050	8680	10880	-	-	2490
	3725	-	-	1200	14	5930	8510	10670	-	-	2420
	3925	-	-	1080	15	5960	8540	10710	-	-	2130
	4125	-	-	-	16	5980	8580	10760	-	-	2010
	4325	-	-	-	17	6000	8610	10800	-	-	1810
	4525	-	-	-	18	6020	8640	10830	-	-	1610
	4725	-	-	-	18	5930	8500	10660	-	-	1410
	4925	-	-	-	19	5950	8530	10700	-	-	1210

STANDARDS

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Reference: 231479

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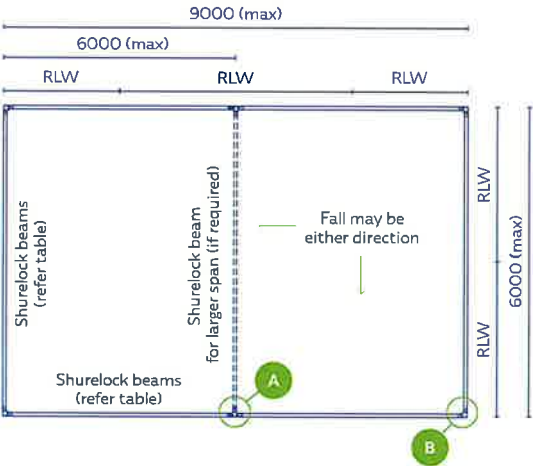
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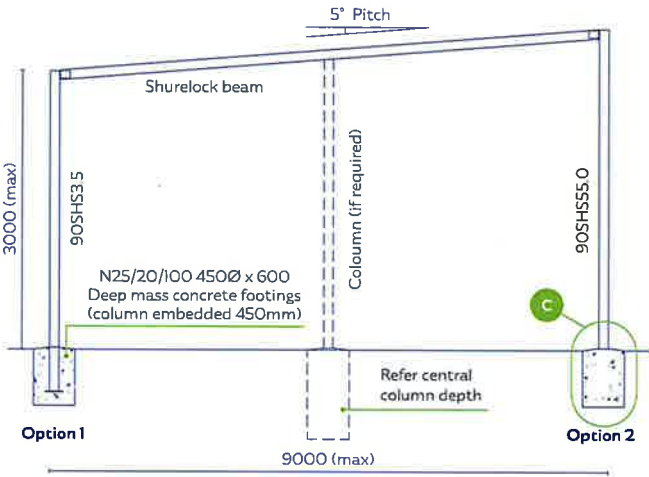
SKILLION FREESTANDING BOLT TO SLAB TO SUIT WINDSPEED N1 / N2 / N3

Plan View

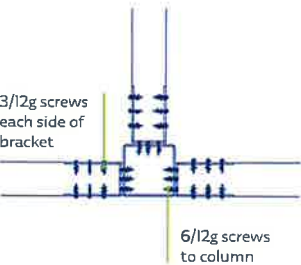


Elevation

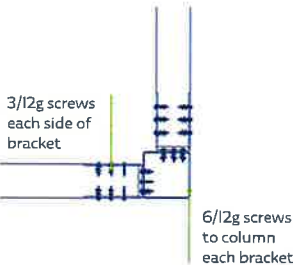
Note Fall may be either direction (refer plan).



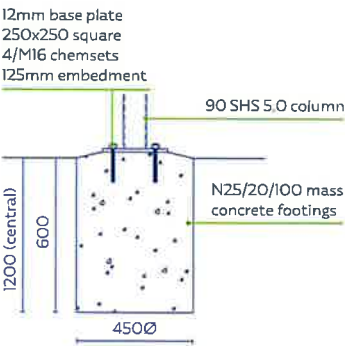
Detail A



Detail B



Detail C



BEAM MEMBERS AND SPAN TABLE

Beam (Shurelock)	Beam Span (mm)	Roof Load Width (mm)
100 x 65	3000	1500
150 x 65	4500	2250
200 x 65	6000	3000

Notes Please refer to roof span and apply the Cp'n 0.7 for patios or Cp'n 1 carport application.

Foundations

- Slab and footing designs is based upon a site classification "M" Class. Site conditions to be confirmed prior to commencement of construction.
- Foundation Material shall be approved by a Geotechnical Engineer for an allowable bearing intensity of 100kPa immediately prior to placing concrete. Notwithstanding this, the underside of all footings shall be founded in.
- Stiff natural ground

The cost of the geotechnical investigation and inspections shall be borne by the builder.

Pronto Building Approvals

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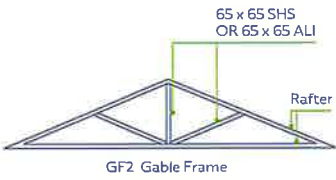
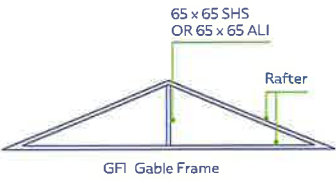
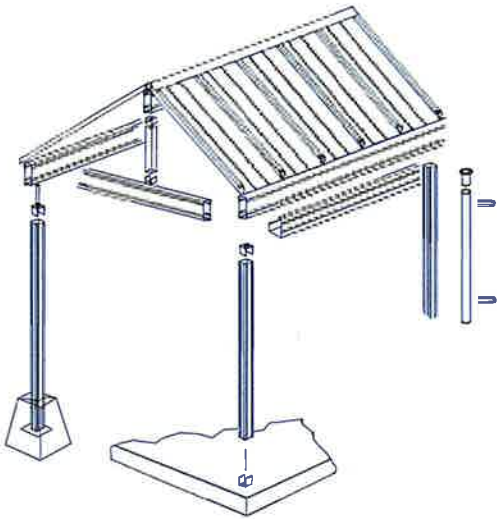
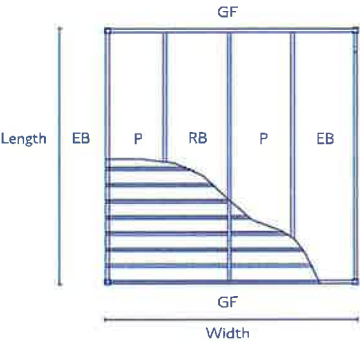


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GABLE SPANS

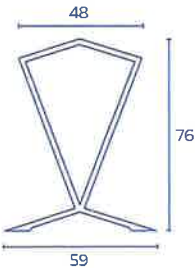
V-LINE AND INSULATED ROOFING

GF – Gable Frame – GF1 or GF2 Refer Table
EB – Edge Beam
P – Purlin
RB – Ridge Beam



AUSDECK COMPONENTRY

Aluminum extrusion on gable ridge extrusion.



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INSULATED ROOFING

ATTACHED OR FREESTANDING OPEN, PARTIALLY ENCLOSED OR ENCLOSED (CP'N 1.0 /1.1/1.2)

	Gable Length	Gable Width	Edge Beam	Ridge Beam	Rafter Beams	Post Attached	Post Freestanding	Footing
N1/ N2/ N3	Up to 4000	Up to 4000	100 x 65	100 x 65	—	65 x 65	89 x 2 SHS	350/500
	4000 to 6000	4000 to 7000	150 x 65	150 x 65	—	65 x 65	89 x 3.5 SHS	400/600
	6000 to 8000	7000 to 8500	200 x 65	200 x 65	100 x 65	89 x 89	100 x 5 SHS	500/700
N4	Up to 4000	Up to 4000	150 x 65	150 x 65	100 x 65	65 x 65	89x3.5 SHS	400/600
	4000 to 6000	4000 to 7000	200 x 65	200 x 65	150 x 65	65 x 65	100 x 5 SHS	500/700

V-LINE ROOFING

ATTACHED OR FREESTANDING OPEN, PARTIALLY ENCLOSED OR ENCLOSED (CP'N 1.0/1.1/1.2)

	Gable Length	Gable Width	Edge Beam	Ridge Beam	Rafter Beams	Post Attached	Post Freestanding	Footing
N1/ N2/ N3	Up to 4000	Up to 4000	100 x 65	100 x 65	—	65 x 65	90 x 2 SHS	350x350 x 500
	4000 to 6000	4000 to 7000	150 x 65	150 x 65	—	65 x 65	100 x 3 SHS	400x400x600
	6000 to 8000	7000 to 8500	200 x 65	200 x 65	150 x 65	89 x 89	100 x 5 SHS	500x500x700
N4	Up to 4000	Up to 4000	150 x 65	150 x 65	100 x 65	65 x 65	100 x 3 SHS	400 x 400 x 600
	4000 to 6000	4000 to 7000	200 x 65	200 x 65	150 x 65	65 x 65	100 x 5 SHS	500 x 500 x 700

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OPEN OR ENCLOSED (CP'N 1.0 / 1.2 / 1.6)

	Gable Width	Gable Length	Purlin	No. of Purlins Per Side	Edge Beam	Ridge Beam	Rafter Beams	Gable Frame Type	Enclosed		Open	
									Post Attached	Footing Type Attached	Post Free-standing or Attached	Free-standing Footing
CI	4000	4000	-	-	100	100	100	GF1	89 x 2	400/600	125 x 4	350 x 1250
	4000	5000	-	-	150	150	150	GF1	89 x 2	400/600	125 x 5	350 x 1500
	4000	6000	-	-	200	200	200	GF1	89 x 2	400/600	150 x 3	350 x 1500
	4000	7000	-	-	200	200	200	GF1	89 x 2	500/700	150 x 4	350 x 1500
	6000	4000	100	1	100	100	200	GF2	89 x 2	400/600	150 x 3	350 x 1500
	6000	5000	150	1	150	150	200	GF2	89 x 2	500/700	150 x 4	350 x 1750
	6000	6000	200	1	200	200	200	GF2	89 x 2	500/700	150 x 5	350 x 1750
	6000	7000	200	1	200	200	200	GF2	89 x 2	500/900	150 x 6	350 x 2000
	8000	4000	100	1	100	100	150	GF2	89 x 2	500/700	150 x 4	350 x 1750
	8000	5000	150	1	150	150	150	GF2	89 x 2	500/900	150 x 6	350 x 1750
C2	8000	6000	200	1	200	200	200	GF2	89 x 2	500/900	200 x 5	350 x 1750
	8000	7000	200	1	200	200	200	GF2	89 x 2	500/900	200 x 5	350 x 2000
	4000	4000	-	-	150	150	150	GF1	89 x 2	500/700	150 x 3	350 x 1500
	4000	5000	150	1	150	150	200	GF1	89 x 2	500/700	150 x 4	350 x 1500
	4000	6000	200	1	200	200	200	GF2	89 x 2	500/700	150 x 5	350 x 1750
	6000	4000	150	1	150	150	200	GF1	89 x 2	500/700	150 x 5	350 x 1750
C3	6000	5000	200	2	200	200	200	GF1	89 x 2	500/700	150 x 6	350 x 1750
	8000	4000	100	3	100	100	200	GF2	89 x 2	500/900	200 x 5	350 x 1750
	4000	4000	100	2	100	100	150	GF1	89 x 2	2	150 x 5	350 x 1750
	4000	5000	100	2	100	100	150	GF1	89 x 2	3	150 x 6	350 x 1750
	4000	6000	100	2	150	150	200	GF1	89 x 2	3	200 x 3	350 x 2000
	6000	4000	100	3	100	100	100	GF2	89 x 2	3	200 x 5	350 x 2000
	6000	5000	150	3	150	150	150	GF2	89 x 2	3	200 x 5	350 x 2000
	6000	6000	150	3	150	150	150	GF2	89 x 2	3	200 x 5	350 x 2000
	8000	4000	100	2	100	100	150	GF2	89 x 2	4	200 x 5	350 x 2000
	8000	5000	150	4	150	150	200	GF2	89 x 2	4	200 x 5	350 x 2000
	8000	6000	150	4	150	150	200	GF2	89 x 2	4	200 x 5	350 x 2000
	8000	6000	150	4	150	150	200	GF2	89 x 2	4	200 x 5	350 x 2000

STANDARDS

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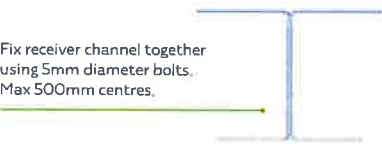


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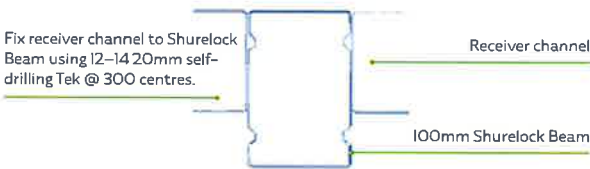
CONNECTION DETAILS

POST AND BEAM CONNECTIONS RECEIVER CHANNELS

Back to Back Receiver Channel

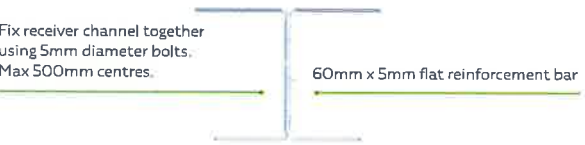


Max Spans (mm)	
N3, C1	3400
N4, C2	2950
C3	2600

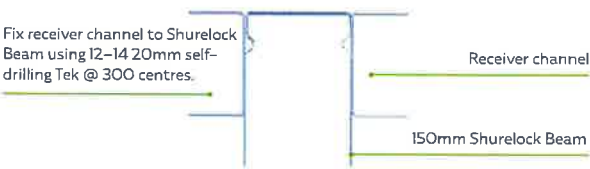


Max Spans (mm)	
N3, C1	5200
N4, C2	4500
C3	3950

Single Reinforced Back to Back Receiver Channel

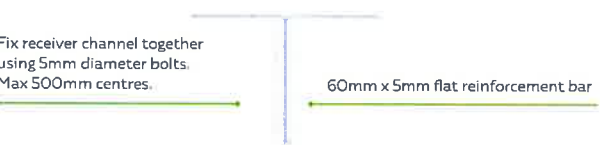


Max Spans (mm)	
N3, C1	3500
N4, C2	3000
C3	2650

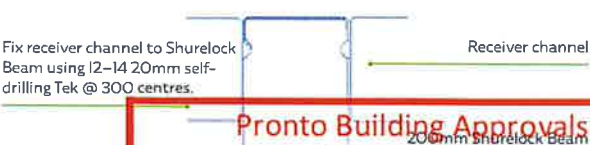


Max Spans (mm)	
N3, C1	6800
N4, C2	5900
C3	5150

Double Reinforced Back to Back Receiver Channel



Max Spans (mm)	
N3, C1	3700
N4, C2	3200
C3	2800



Max Spans (mm)	
N3, C1	8000
N4, C2	6950
C3	6100

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Reference: 231479
Date: 13/12/2023
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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

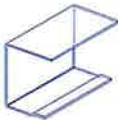
CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Receiver Channel—V-Line

G300 1.0mm



Receiver Channel—Insulated

G300 1.2mm



STRUCTURAL BEAM END CAPS

For the connection of posts to roll formed beams, timber/steel wall framing and concrete filled masonry block walls.



Single Beam End Cap—External

1.0mm Folded Steel G300

Max. load 9.3kN
90°



Angled Single Beam End Cap

1.0mm Folded Steel G300

Max. load 9.3kN
67.5°, 45° and 22.5°



Fascia Hanging Bracket

1.2m Folded Steel G300

Max. load 9.0kN
90°, 67.5°, 45° and 22.5°

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Reference: 231479

Date: 13/12/2023

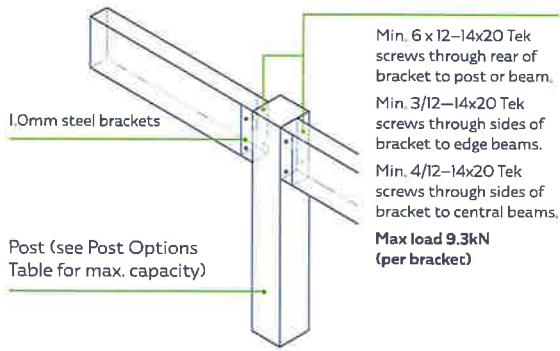
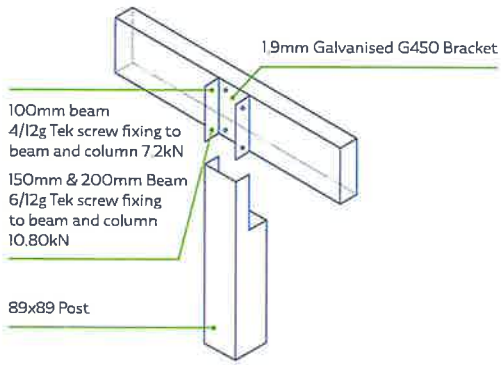
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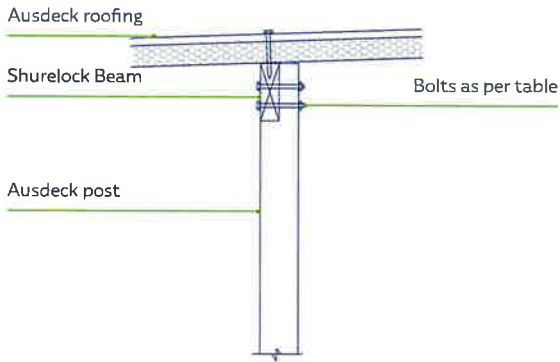
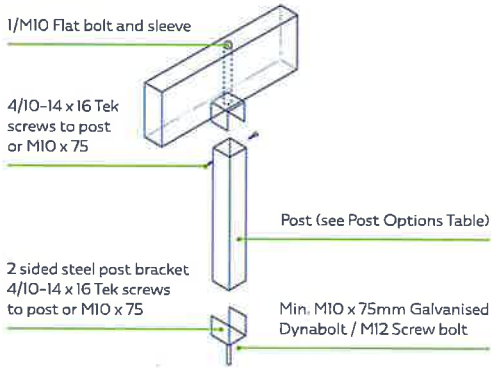
POST TO BEAM CONNECTION

Post Cut Out Bracket



Two Sided Steel Post Bracket

Max. load 9.5kN



Note Not suitable for freestanding structures.

Maximum Area of Roof Tied Down by Bolted Connection (m²)

Post	Required Bolts	Freestanding			Wall to One Side			Wall to Two Sides			Wall to Three Sides			Enclosed		
		N1/N2	N3	N4	N1/N2	N3	N4	N1/N2	N3	N4	N1/N2	N3	N4	N1/N2	N3	N4
65ALSQT1.6	2/M10	14.8	9.0	5.9	10.2	6.3	4.1	6.2	3.9	2.6	4.2	2.6	1.7	5.7	3.5	2.3
	2/M12	17.8	10.8	7.0	12.2	7.5	4.9	7.5	4.7	3.1	5.0	3.2	2.1	6.8	4.3	2.8
	2/M16	20.2	12.3	8.0	13.8	8.5	5.6	8.5	5.3	3.5	5.7	3.6	2.4	7.7	4.8	3.2
90ALSQT2.6	2/M10	14.8	9.0	5.9	10.2	6.3	4.1	6.2	3.9	2.6	4.2	2.6	1.7	5.7	3.5	2.3
	2/M12	17.8	10.8	7.0	12.2	7.5	4.9	7.5	4.7	3.1	5.0	3.2	2.1	6.8	4.3	2.8
	2/M16	20.2	12.3	8.0	13.8	8.5	5.6	8.5	5.3	3.5	5.7	3.6	2.4	7.7	4.8	3.2
89SHS3.5	2/M10	21.6	13.1	8.5	14.8	9.1	6.0	9.1	5.7	3.7	6.1	3.8	2.5	8.3	5.2	3.4
	2/M12	25.9	15.7	10.3	17.7	10.9	7.2	10.9	6.8	4.5	7.3	4.6	3.0	9.9	6.2	4.1
	2/M16	29.4	17.8	11.6	20.1	12.4	8.2	12.3	7.7	5.0	8.3	5.2	3.5	11.3	7.0	4.7
100SHS3.0	2/M10	21.6	13.1	8.5	14.8	9.1	6.0	9.1	5.7	3.7	6.1	3.8	2.5	8.3	5.2	3.4
	2/M12	25.9	15.7	10.3	17.7	10.9	7.2	10.9	6.8	4.5	7.3	4.6	3.0	9.9	6.2	4.1
	2/M16	29.4	17.8	11.6	20.1	12.4	8.2	12.3	7.7	5.0	8.3	5.2	3.5	11.3	7.0	4.7

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Reference: 231479

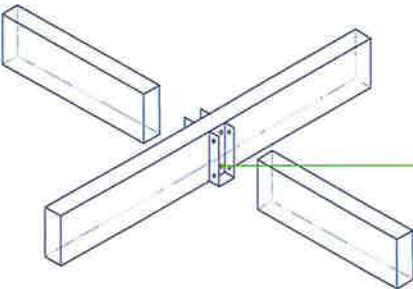
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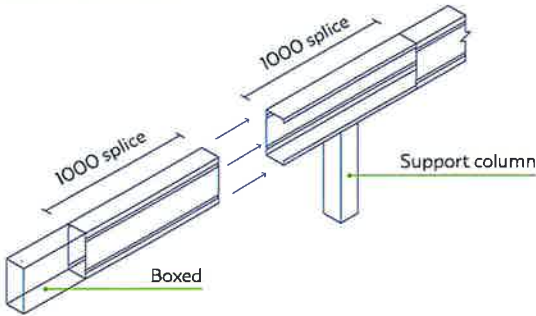
BEAM TO BEAM CONNECTION



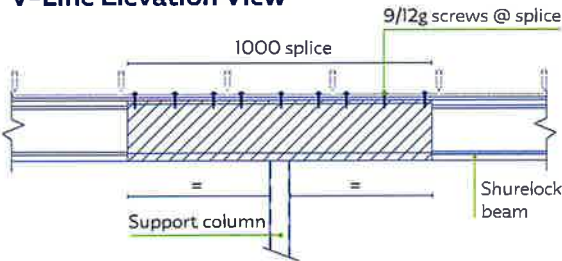
Min. 6/12-14x20 Tek screws through rear of bracket to post or beam.
Min. 4/12-14x20 Tek screws through sides of bracket to central beams.
Max. load 9.3kN (per bracket)

SPLICE JOINS

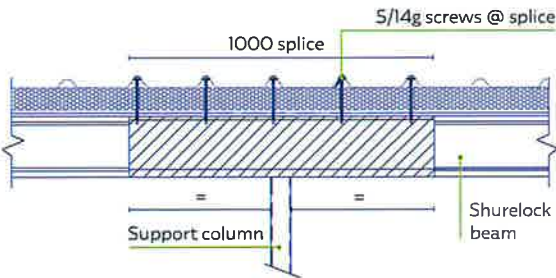
Isometric View



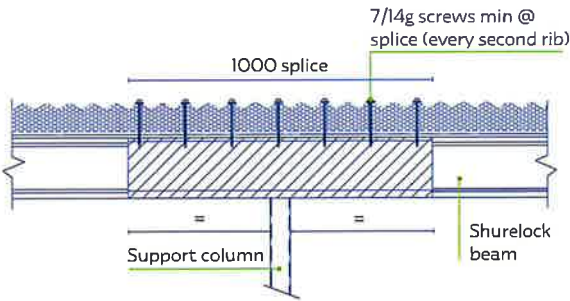
V-Line Elevation View



Ribbed Insulated Panel Elevation View



Corrugated Insulated Panel Elevation View



STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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FOOTING CAPACITIES

POST OPTIONS FOR ATTACHED STRUCTURES

Post Type	Post Size	Maximum Height
Steel Posts	65 x 65 x 1.6	3950mm
	89 x 89 x 2.0	5600mm
	89 x 89 x 3.5	5800mm
	100 x 100 x 3.0	5800mm
	100 x 100 x 5.0	5000mm
Aluminium Posts 6063-T5	65 x 65 x 1.6	3850mm
	65 x 65 x 2.0	3950mm
	90 x 90 x 2.0	4000mm
	100 x 100 x 6.0	4500mm

POST OPTIONS FOR FREESTANDING STRUCTURES (Post into Footings)

Post Type	Post Size	Roof Area Up To	Maximum Height
Steel Posts	89 x 89 x 2	20m²	3000mm
	89 x 89 x 3.5 / 100 x 100 x 3	40m²	3600mm
	89 x 89 x 3.5 / 100 x 100 x 3	60m²	3600mm

FOOTING CONTRIBUTORY HOLD DOWN FOR ATTACHED STRUCTURES

Width/Depth	Open and Partially Enclosed						Enclosed					
	N1/N1	N3	N4	C1	C2	C3	N1/N2	N3	N4	C1	C2	C3
350/500	10.3	6.6	4.4	6.6	4.4	3.0	5.7	3.7	2.5	3.7	2.5	1.7
400/600	16.3	10.4	7.0	10.4	7.0	4.8	9.1	5.8	3.9	5.8	3.9	2.6
500/700	26.8	17.2	11.5	17.2	11.5	7.8	14.9	9.5	6.4	9.5	6.4	4.4
500/900	35.0	27.7	18.6	27.7	18.6	12.7	24.1	15.4	10.3	15.4	10.3	7.0
500/1100	35.0	35.0	28.0	35.0	28.0	19.0	35.0	23.2	15.6	23.2	15.6	10.6
500/1300	35.0	35.0	35.0	35.0	35.0	27.2	35.0	33.1	22.2	33.1	22.2	15.1

POSTS FOR FREESTANDING STRUCTURES DESIGNED CP'N 0.7

Posts	Maximum Height	Roof Area Up To	Footing Details (Width/Depth)					
			N1/N2	N3	N4	C1	C2	C3
89x89x2 SHS Duragal	3.000mm	20m²	500/1100	500/1100	500/1100	500/1100	500/1100	500/1300
89x89x3.5 SHS Duragal	3.600mm	40m²	500/1100	500/1300	500/1300	500/1100	500/1800	500/2600
100x100x3 / 89x89x3.5 SHS Duragal	3.600mm	60m²	500/1300	500/1800	500/1800	500/1800	500/2600	N/A

Note Freestanding structures to have posts cast in. For Patios where the projection is more than 1.2 times the length of the attachment side. For patios the posts and footing outside this dimension are to be treated as Freestanding. Attached structures assumed to transfer bracing to existing structure. Designs outside these parameters requires individual engineering certification.

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Reference: 231479

Date: 13/12/2023

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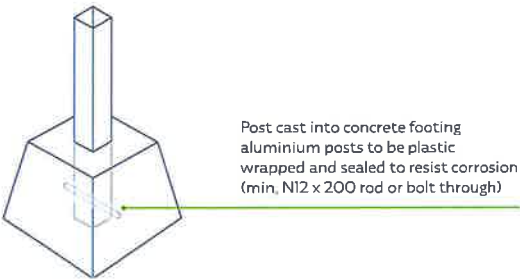
BUILDING APPROVALS

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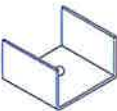
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POST TO FOOTING



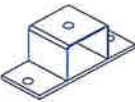
POST CONNECTORS

For the connection of posts to beams, concrete floors and footings.



Internal Post Brackets
65mm/90mm/100mm

2.4mm Galvanised Steel G300
Max. load 7.7kN



Internal Cyclonic Post
Bracket 65mm

3mm Galvanised Steel
Max. load 8.5kN



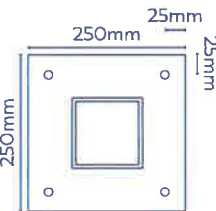
Internal Post Bracket Plastic
65mm/90mm/100mm

12gx25mm per screw 3.75kN

WELDED POST BASE PLATE LAYOUT

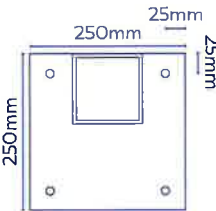
Attached Patios

Posts can be located at the centre edge of the base plate, provided the bolt locations remain unchanged.



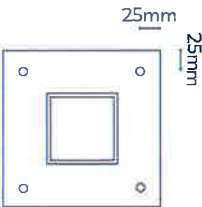
Max Loads

89 x 2 SHS	8mm Plate	27.2kN
89 x 3.5 SHS	10mm Plate	45kN
100 x 3 SHS	10mm Plate	49kN



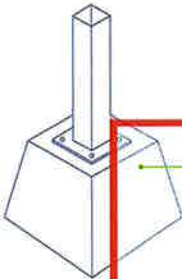
Max Loads

89 x 2 SHS	8mm Plate	13.6kN
89 x 3.5 SHS	10mm Plate	22.5kN
100 x 3 SHS	10mm Plate	24.5kN



Minimum Edge Distance
to Bolts

10mm Bolts	100mm
12mm Bolts	120mm
16mm Bolts	160mm



M12 post dynabolted or
screwbolted to concrete footing
or slab with 25mm edge distance

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Reference: 231479
Date: 13/12/2023
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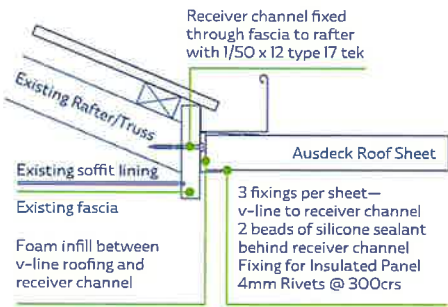
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Notes Welded base plate layout as per 89/100 steel post base plate—10mm thick steel plate. All bolts/anchors to be installed in accordance with manufacturers specifications and data sheets. Post-footing connection details to be selected according to anchorage details.

CONNECTION TO EXISTING STRUCTURES

FASCIA BRACKETS AND FIXING DETAILS

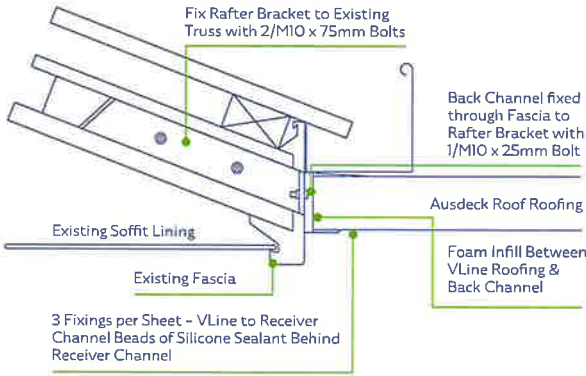
Timber Fascia



Fix the receiver channel every 600mm to the timber fascia with 12 x 25 or 12 x 50 Type 17 timber screws.

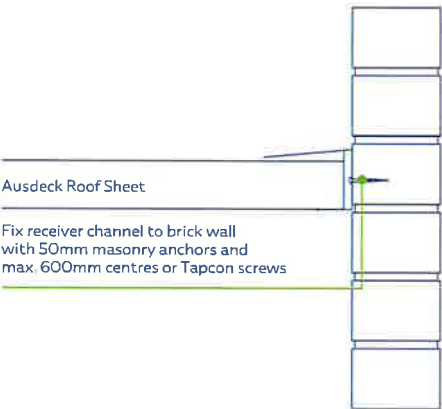
Notes Rafter/truss tail to be minimum 90x45 F8 pine or 90x35 F17 seas. Hwd. Where rafter tails are to be stiffened use 90x45 F8 pine x 1500 long stiffener. Builder to ensure adequate tie-down of existing roof structure to support.

Steel Fascia



Every 1200mm fit a fascia rafter bracket to existing rafter and bolt through to the receiver channel.

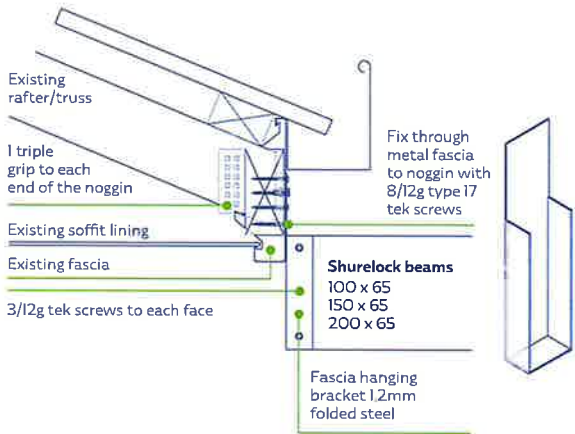
Brick Wall



Fix the receiver channel every 600mm to the wall with dynabolts suitable for the brickwork that you are attaching to. Or fix 14g x 45mm Tapcon screw every 450mm (not suitable structures with no eaves or two storey with blueboard over brick).

Fascia Hanging Bracket

1.2mm Folded Steel G550



Maximum Contributory Area

Wind Region	Max. Area—m ²
N2	12.5
N3	8.7
N4	8.6
C1	8.8
C2	9.8
C3	9.8

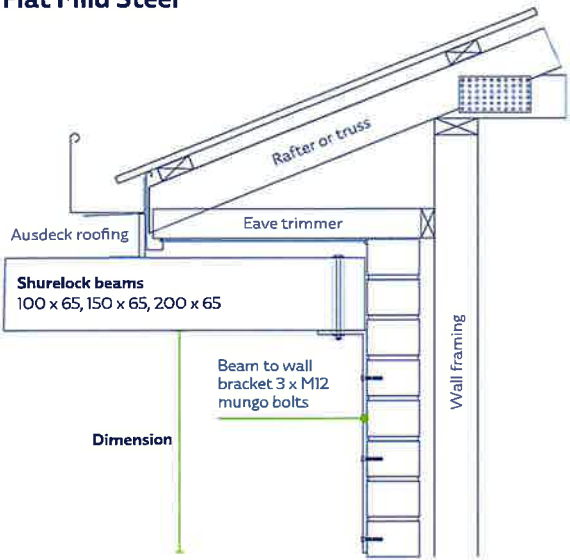
Notes Figures shown are per bracket. Cannot be existing tie-downs must be checked for structural adequacy.

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Reference: 231479
Date: 13/12/2023
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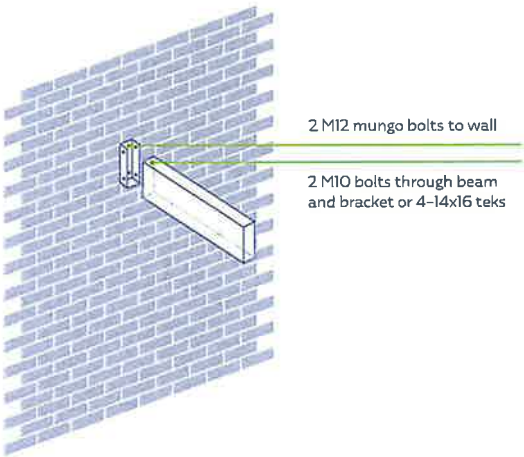
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Beam to Wall Bracket 50 x 6mm
Flat Mild Steel

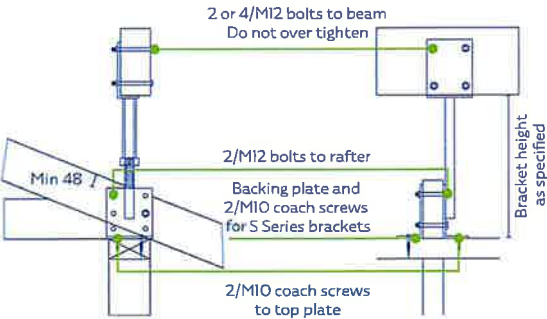


Dimensions
Type A—450mm, Type B—900mm, Type C—1800mm

Beam to Masonry Wall Bracket

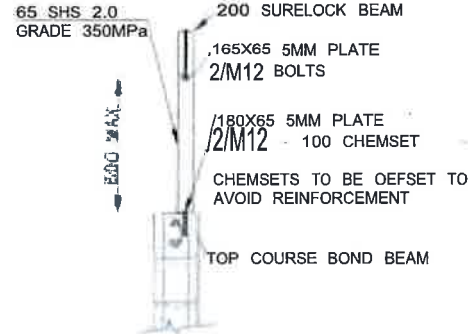


Roof Extenda Bracket—Series Type
(300, 400 and 500)



Refer Extenda Design Tables for Mk II and S Series
Brackets for Ausdeck Roofing

Generic Flyover Roof Bracket
1.2mm Folded Steel



Maximum Contributory Area

Wind Class	Maximum Contributory Area (m²) (Per Bracket)
C1	5.5
C2	3.6
C3	2.5

Notes All construction shall comply with BCA and building regulations.
All steelwork shall comply with AS 4100. Chemsets shall be series 801 or equivalent.

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Date: 13/12/2023
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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

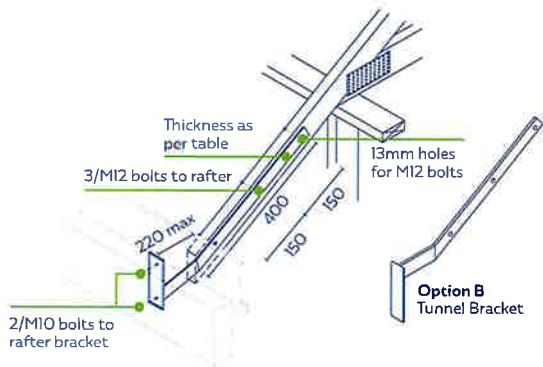
GABLE SPANS

CONNECTION DETAILS

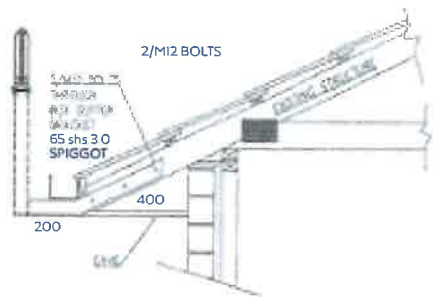
DECKS AND FLOORS

CERTIFICATION AND TESTING

Box Gutter Bracket



Fascia Upstand Bracket



Maximum Contributory Hold Down Area (m²)

10mm Plate Thickness

N2	N3	N4	C1	C2	C3
12.4	7.58	4.96	7.58	4.96	3.29

Maximum Fascia Upstand Bracket Spacing (m)

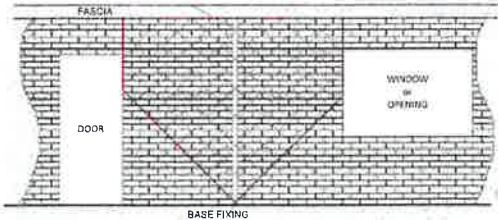
Spiggot height (mm)	Vertical roof height (mm)	N2	N3	N4	C1	C2	C3
150	600	12.3	7.90	5.33	7.90	5.33	3.61
	800	9.24	5.93	4.00	5.93	4.00	2.70
	1000	7.39	4.74	3.20	4.74	3.20	2.16
	1200	6.16	3.95	2.66	3.95	2.66	1.80
300	1400	5.28	3.39	2.28	3.39	2.28	1.55
	600	6.16	3.95	2.66	3.95	2.66	1.80
	800	4.62	2.96	2.00	2.96	2.00	1.35
	1000	3.69	2.37	1.60	2.37	1.60	1.08
	1200	3.08	1.98	1.33	1.98	1.33	0.90
	1400	2.64	1.69	1.14	1.69	1.14	0.77

Spiggot height (mm)	Vertical roof height (mm)	N2	N3	N4	C1	C2	C3
450	600	4.10	2.63	1.78	2.63	1.78	1.20
	800	3.08	1.98	1.33	1.98	1.33	0.90
	1000	2.46	1.58	1.07	1.58	1.07	0.72
	1200	2.05	1.32	0.89	1.32	0.89	0.60
600	1400	1.76	1.13	0.76	1.13	0.76	0.52
	600	3.08	1.98	1.33	1.98	1.33	0.90
	800	2.19	1.48	1.00	1.48	1.00	0.68
	1000	1.85	1.19	0.80	1.19	0.80	0.54
	1200	1.54	0.99	0.67	0.99	0.67	0.45
	1400	1.32	0.85	0.57	0.85	0.57	0.39

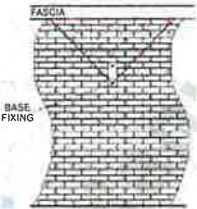


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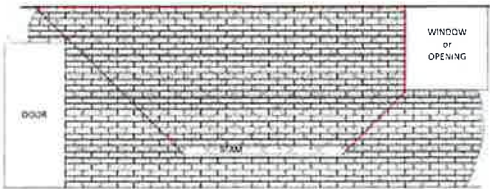
Anchor Capacity of Brickwork Post



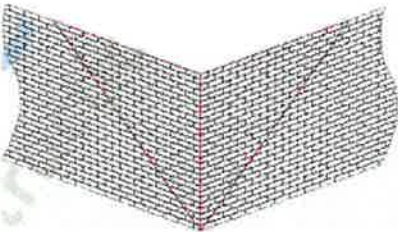
Anchor Capacity of Brickwork Bracket/ Beam End Cap



Anchor Capacity of Brickwork Beam



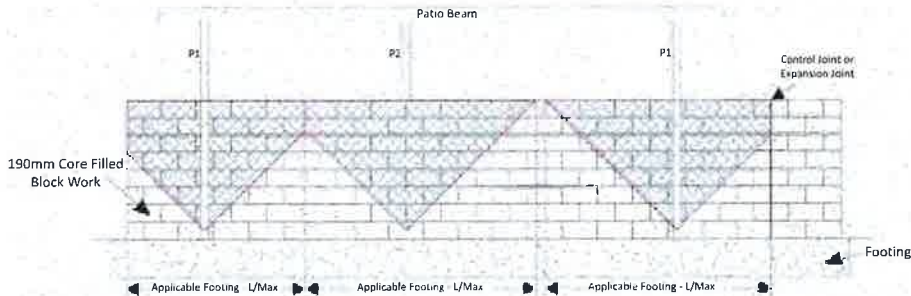
Anchor Capacity of Corner Brickwork



The area of the wall that can be considered effective to provide anchor resistance is that within a 45 degree zone from the base fixing to the top of the wall, excluding any openings. Average Brickwork—110 mm.

Dead Load = 1.9 kN Per M2 of Average Brickwork. Calculate the area of brickwork above the base fixings as per diagram above and multiply by 1.9 = Maximum kN Capacity.

Anchor Capacity of 190mm Core Filled Blockwork—Post



The area of the wall that can be considered effective to provide anchor resistance is that within a 45 degree zone from the base fixing to the top of the wall excluding any openings. (The effective area of any post must not overlap the effective area of any other post).

Core Filled Block Work—190 mm

Dead load = 4.0kN Per M2 of 190 mm Core Filled Block Work.

Calculate the area of the block work above the base fixing as per the diagram above and multiply by 4.0 = Maximum kN capacity.

If the footing size can be accurately determined, add 22 kN per m of concrete. A minimum footing size of 300 x 300 can be assumed if the footing size cannot be accurately determined. For post fixings to the top of the block wall (P2 in Drawings) use 100mm 10mm chemset mix, 250 mm embedment into core fill (Embedment excludes any cavity fill and include that may be used on the top of the wall).



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STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

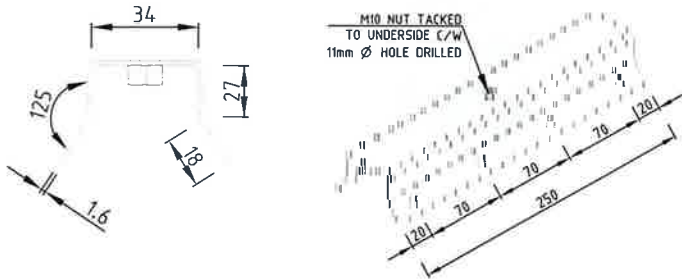
GABLE SPANS

CONNECTION DETAILS

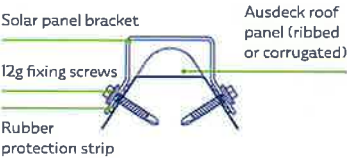
DECKS AND FLOORS

CERTIFICATION AND TESTING

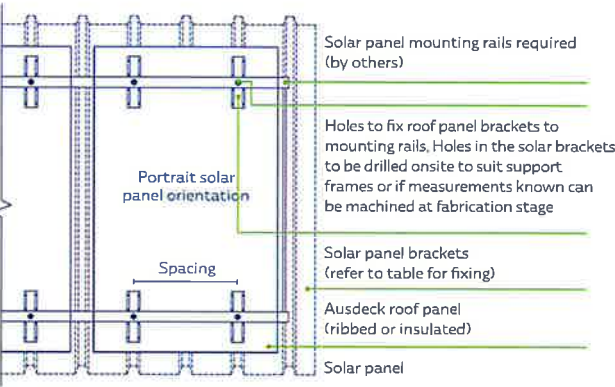
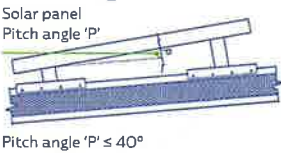
AUSDECK COMPONENTRY
SOLARPANEL BRACKETS



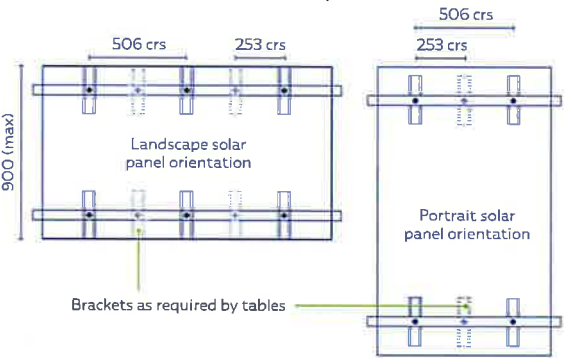
Bracket Installation



Pitch Angle



Typical Panel Orientation
Based on a 1500mm x 900mm panel



Notes If brackets are used in a coastal area we recommend powder-coating the brackets for corrosion resistance. All screws to be 12g class 4 screws with Neo. Locate panels away from roof edges and ridge.

NON TRAFFICABLE SPANS
Solar Panel Fixing Requirements

Wind Class	Limit State Design Pressure (kPa)	Portrait				Landscape			
		@ 253mm crs		@ 506mm crs		@ 253mm crs		@ 506mm crs	
		Brackets/ Panel	Scews/ Bracket	Brackets/ Panel	Scews/ Bracket	Brackets/ Panel	Scews/ Bracket	Brackets/ Panel	Scews/ Bracket
N2	2.16	6	4	4	4	10	4	6	4
N3	3.32	6	4	4	4	10	4	6	4
N4	4.97	6	4	4	6	10	4	6	4
N5	7.14	6	6	4	8	10	4	6	4
C1	3.79	6	4	4	4	10	4	6	4
C2	5.64	6	6	4	8	10	4	6	4
C3	8.11	6	6	4	10	10	4	6	4
C4	11.04	6	10	-	-	10	4	6	4

Note All brackets to be screwed with 12g class 4 screws with seal.

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
APPROVED

pronto
BUILDING APPROVALS

Veen Eyall-Wilson
Private Certifier
QBCC: A1131996

DECKS AND FLOORS

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

CERTIFICATION AND TESTING

BEARER AND JOIST SPANS (JOIST CRS—MAXIMUM 450MM)

1.5KPA / 1.8KN LIVE LOAD

Joist Span	Joist Size	Bearer Span	Bearer Size
3000	C150-12	3000	LLC150-24
3300	C150-15	3000	LLC150-24
3600	C150-19	2900	LLC150-24
4000	C150-24	2800	LLC150-24
4100	C200-15	3000 3200	LLC200-19 LLC200-24
4500	C200-19	2900 3100	LLC200-19 LLC200-24
4800	C200-24	2800 3000	LLC200-19 LLC200-24
5100	C250-19	2800 3400	LLC250-19 LLC200-24
5500	C250-24	2900 3200	LLC250-19 LLC200-24
6800	C300-24	3300 3500	LLC300-24 LLC300-30
7300	C300-30	3100 3300	LLC300-24 LLC300-30
8000	C350-30	3600	LLC350-30

2.0KPA / 1.8KN LIVE LOAD

Joist Span	Joist Size	Bearer Span	Bearer Size
2925	C150-12	2700 2800	LLC150-19 LLC150-24
3250	C150-15	2500 2700	LLC150-19 LLC150-24
3600	C150-19	2500 2700	LLC150-19 LLC150-24
3875	C150-24	2400 2600	LLC150-19 LLC150-24
4025	C200-15	2900 3000	LLC200-19 LLC200-24
4300	C200-19	2900 3000	LLC200-19 LLC200-24
4600	C200-24	2800 3000	LLC200-19 LLC200-24
4800	C250-19	2800 3200	LLC250-19 LLC250-24
5150	C250-24	2700 3100	LLC250-19 LLC250-24
6400	C300-24	3300 3500	LLC300-24 LLC300-30
6850	C300-30	3200 3400	LLC300-24 LLC300-30
7800	C350-30	3600	LLC350-30

Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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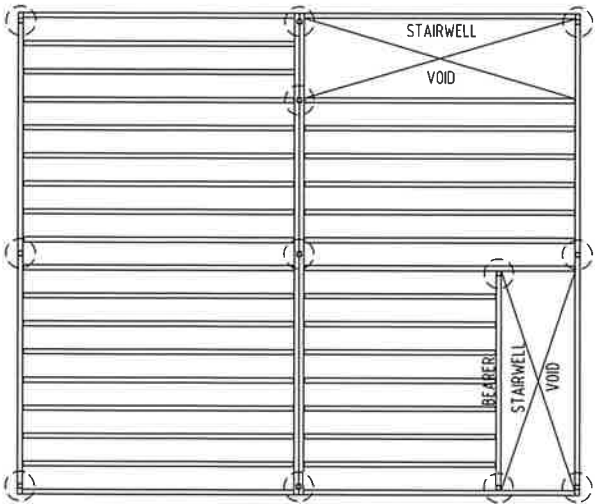
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Private Certifier
QBCC: A1131996

COLUMN MEMBER MAXIMUM AREA (m²)

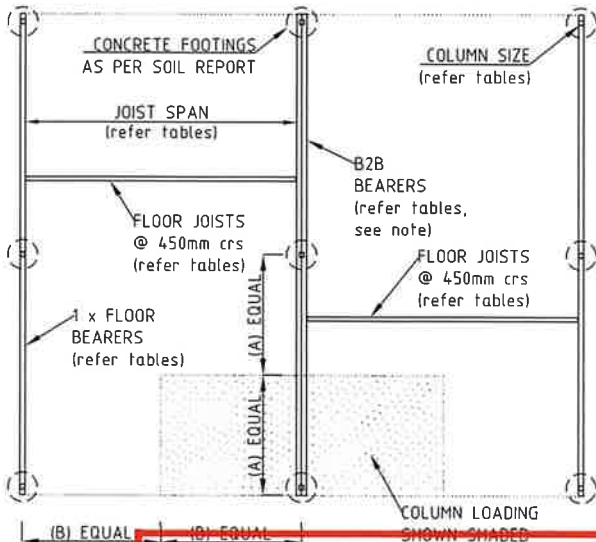
Column Height (mm)	Column Size	Live Load	
		1.5 kPa	2.0 kPa
2500	89 SHS 3.5	44	36
3000	89 SHS 3.5	34	28
3500	89 SHS 3.5	26	22
2500	89 SHS 3.5	52	42
3000	89 SHS 3.5	40	32
3500	89 SHS 3.5	30	24
2500	89 SHS 3.5	58	48
3000	89 SHS 3.5	44	36
3500	89 SHS 3.5	34	28

- All bearer spans shown are maximum and to be continuous where possible
- Use 2 equal sized bearers for B2B bearers
- Maximum joist spacings—450mm (joists to be spaced equally)
- Joist spans are maximum* where bearers/joists are different heights a 30 x 1.0mm fly brace (fb) is to be fixed with 2/12g screws each end at every other joist
- All columns to be embedded into concrete footings a minimum of 600mm for bracing capacity
- Columns are to be placed at the end of every bearer
- All columns to have 150 x 75 x 6.0 plates 6cfw to bottoms
- 100 x SHS 3.0mm columns may be used alternatively to the columns in the table
- All flooring materials to be installed as per manufacturers specifications

JOISTS WITH VOIDS PLAN



BEARERS/COLUMNS PLAN

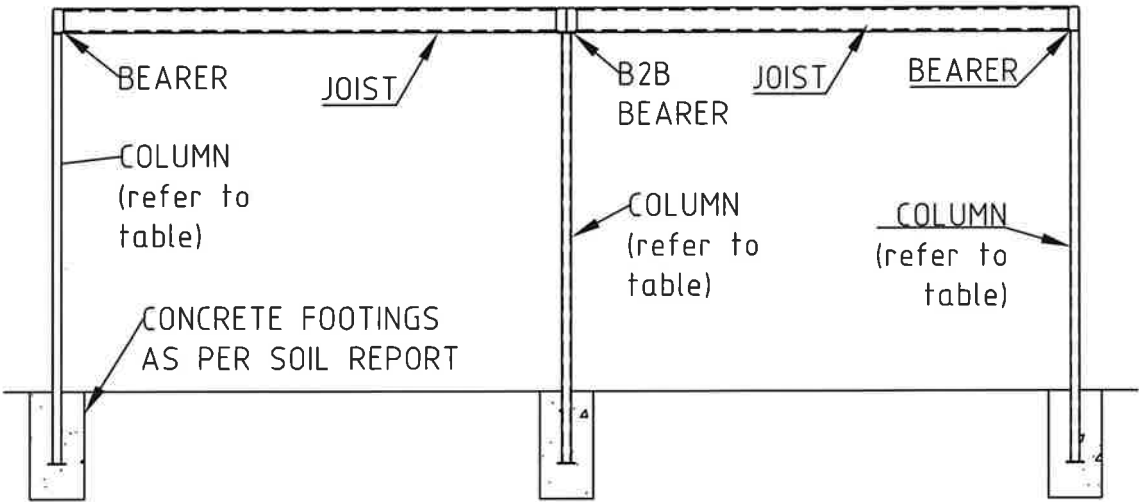


Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
APPROVED

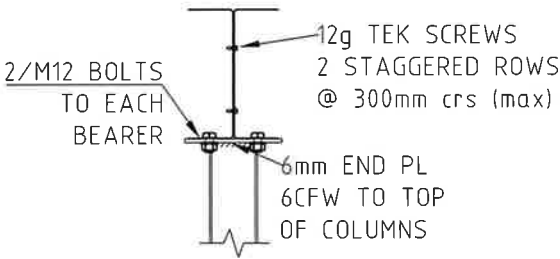


Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

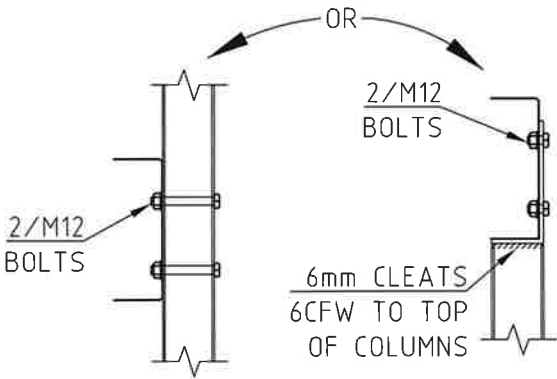
DECK ELEVATION



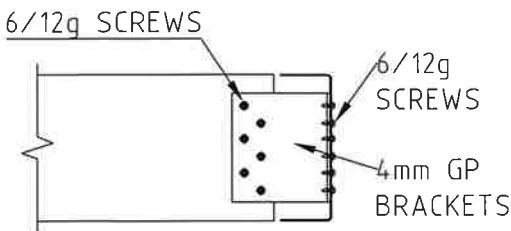
Column to B2B Bearer



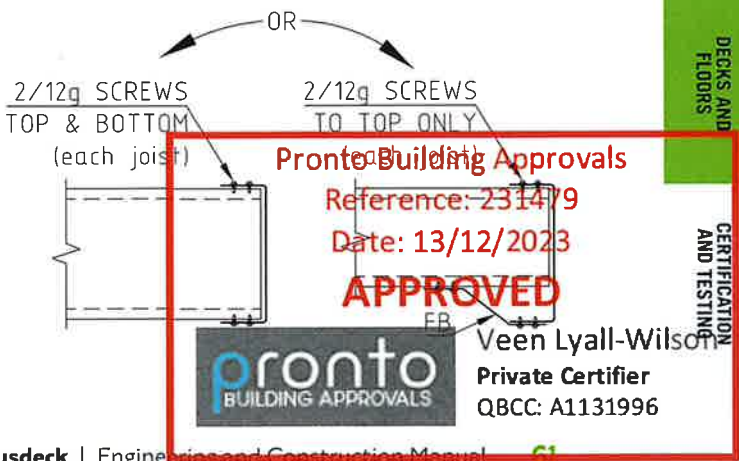
Column to Single Bearer



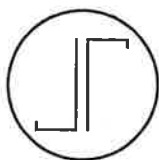
Bearer to Bearer



Joist to Bearer



12/12/2023, Pages 61 of 63



SUMMERMORE Pty Ltd ABN 42 108 898 433
PO Box 1671,
Browns Plains BC,
Queensland, 4118
Tel: 07 3800 0973
W: www.summermore.com.au

Thursday, 27 April 2023

Ausdeck
 16 Mica St
 Carole Park
 QLD 4300

Dear Mr Johnson

STRUCTURAL DESIGN CERTIFICATION (VALID UNTIL 01MAY2024)
GENERIC DESIGN CERTIFICATION FOR STRUCTURES THAT COMPLY WITH
AUSDECK CONSTRUCTION MANUALS

We, Summermore Pty Ltd, being Registered Structural and Civil Engineers, hereby certify that the design of roof framing, and brackets, posts, footings and sheeting for the Ausdeck patio system for patio structures in regions compliant with wind ratings of N2, N3, N4, C1, C2 and C3 in accordance with AS4055 and Specification S4C2—Design of Building in Cyclonic Areas NCC2022 VOL 1 and Part H1D7 Sheet Roofing of NCC 2022 VOL 2 have been designed in accordance with widely accepted engineering principles and the referenced codes of practice and the form of construction complies with the requirements of the Housing Provisions.

This certification covers the members, connections and bracing. The systems designed include Skillion Patios, Multi Beam Patios, Gable Roof Patios, Simple Beam Patios. This certificate is limited to the structural design only and no responsibility is taken for any loss, damage or failure resulting from the method of construction or wind exceeding the design wind rating nominated. For structures with snow and ice loadings refer to Appendix A of this certificate.

Referenced Codes of Practice and Manuals

Ausdeck Engineering and Construction Manual V2.00.01 April 2023
 National Construction Code of Australia 2022.
 Specification S4C2—Design of Building in Cyclonic Areas NCC2022 VOL 1
 Part H1D7 Sheet Roofing of NCC 2022 Vol 2
 AS 1163:1991 Structural Steel Hollow Sections
 AS/NZS 1170.0:2002 Structural Design Actions Part 0—General Principles
 AS/NZS 1170.1:2002 Structural Design Actions Part 1—Permanent, Imposed & Other Actions
 AS/NZS 1170.2:2021 Structural Design Actions Part 2—Wind Actions
 AS/NZS 1170.3:2003 Design Actions Part 3—Snow and Ice Actions
 AS/NZS 1554.1:2004 Structural Steel Welding—Welding of Steel Structures
 AS1562.1: 2018 Design and installation of sheet roof and wall cladding Part 1: Metal
 AS/NZS 1664.1:1997 Aluminium structures - Limit state design
 AS 1684:2010 Residential Timber Framed Construction
 AS 3566.1:2002 Self Drilling Screws
 AS 3600:2018 Concrete Structures
 AS 4055:2012 Wind Loads for Housing
 AS 4100:2020 Steel Structures Code
 AS/NZS 4600:2018 Cold Formed Steel Structures

Summermore Pty Ltd accepts no responsibility for information that has not been expressly identified as part of this certification.

If we can be of any further assistance in this matter, please do not hesitate to contact this office.

Yours Faithfully


Ronald Bell
 FIEAust (891940), CPEng, NER, APEC Engineer, IntPE(Aus), Registered Engineer Structural NSW (BDC04601),
 Director
 Summermore Pty Ltd

Pronto Building Approvals

Reference: 231479

Date: 13/12/2023

APPROVED



Veen Lyall-Wilson
Private Certifier
 QBCC: A1131996



Generic Compliance certificate for building design or specification

This section need only be completed if details of street address and property description are applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

[illegible]

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Design of roof framing, and brackets, posts, footings and sheeting for the Ausdeck patio system for patio structures in regions compliant with wind ratings of N2, N3, N4, C1, C2 and C3 in accordance with AS4055. This certification complies with the NCC2022 Part A5G1 Performance Solution by providing evidence of suitability in accordance with Part A5G3.1.5. Systems designed include Skillion Patios, Multi Beam Patios, Simple Beam Patios through demonstration of the requirements of H1P1. These structures have been designed in accordance with widely accepted engineering principles and the referenced codes of practice and the form of construction complies with the requirements of the Housing Provisions.

This certificate is limited to the structural design only and no responsibility is taken for any loss, damage or failure resulting from the method of construction or wind exceeding the design wind rating nominated.

The roofs have been designed as NON TRAFFICABLE. It is recommended that a sign displaying this is located in the vicinity of access points to the roofs.

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

National Construction Code of Australia 2022, Specification S4C2—Design of Building in Cyclonic Areas NCC2022 VOL 1
Part H1D7 Sheet Roofing of NCC 2022 Vol 2
AS 1163:1991 Structural Steel Hollow Sections
AS/NZS 1170.0:2002 Structural Design Actions Part 0—General Principles
AS/NZS 1170.1:2002 Structural Design Actions Part 1—Permanent, Imposed & Other Actions
AS/NZS 1170.2:2021 Structural Design Actions Part 2—Wind Actions
AS/NZS 1170.3:2003 Design Actions Part 3—Snow and Ice Actions
AS/NZS 1554.1:2004 Structural Steel Welding—Welding of Steel Structures
AS1562.1: 2018 Design and installation of sheet roof and wall cladding Part 1: Metal
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AS 4055:2012 Wind Loads for Housing
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QBCC: A1131996

STANDARDS

WINDSPEED

INSULATED SPANS

SINGLE-SKIN ROOFING SPANS

BEAM SPANS

GABLE SPANS

CONNECTION DETAILS

DECKS AND FLOORS

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Ausdeck Engineering and Construction Manual V2.00.01 April 2023

5. Building certifier reference number and building development approval number

Building certifier reference number	Building development application number (if available)
-------------------------------------	--

6. Appointed competent person details

Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name (in full)	Ronald Albert BELL		
Company name (if applicable)	Summermore Pty Ltd		
Contact person	Ron Bell		
Business phone number	0738000973	Mobile	0438288116
Email address	ron@summermore.com.au		
Postal address	PO Box 1671 Browns Plains, QLD, 4188.		
	Suburb/locality		
State	Choose an item.	Postcode	
Licence class or registration type (if applicable)	RPEQ		
Licence or registration number (if applicable)	6715		

9. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature	
This Certificate Expires on 01st May 2024	

LOCAL GOVERNMENT USE ONLY

Date received	Click or tap to enter a date.	Reference number/s
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Pronto Building Approvals
Reference: 231479
Date: 13/12/2023
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Veen Lyall-Wilson
Private Certifier
QBCC: A1131996

Form 21**Final Inspection Certificate**

Single detached class 1a buildings and class 10 buildings or structures



This form is made for the purpose of sections 98 and 99 of the *Building Act 1975*.

The building certifier for the work must give this signed form to the owner as the final inspection certificate for a single detached class 1a buildings and class 10 buildings or structures (excluding swimming pools and swimming pool fences) certifying the work is compliant with the building development approval.

Note: Form 17 – Final inspection certificate – swimming pool fences is the final inspection certificate for a regulated pool under the *Building Act 1975*.

Additional explanatory information is included in the Appendix at the end of this form.

1. Owner details If the owner is a company, a contact person must be shown. All correspondence will be mailed to this address.	Name <i>(in full)</i> Luke Diamondopoulos Company name <i>(if applicable)</i> L Diamandopoulos Business phone number 0421630206 Email address luke@buildinggreen.com.au Postal address 29 Hatfield Road Banyo State QLD Postcode 4014
2. Property description The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address <i>(include number, street, suburb/locality and postcode)</i> 29 Hatfield Road Banyo State QLD Postcode 4014 Lot and plan details <i>(attach list if necessary)</i> Lot 170 / RP34627 Local government area the land is situated in Brisbane City Council
3. Building description	Building/structure description Alterations and additions Class of building/structure 1a
4. Details of the building development approval	Building development approval number 2026017 Building certifier reference number 2026017
5. Performance standards If the building work uses a performance-based solution, list the performance requirements used.	Performance requirements Habitable room height reduced to 2370mm in bed 4, bed 5 & downstairs living room. Refer to performance report issued by Tim Lowe Building Design Pty Ltd dated 30/10/2025.

6. Certification Pursuant to section 10 of the <i>Building Act 1975</i> for the performance of building certification functions.	I certify that on an inspection carried out in accordance with best industry practice, the building work for the above building or structure was inspected and complies with the building approval or certificates of inspection were accepted from competent persons at the following stages of the construction. <table border="1" data-bbox="869 241 1465 600"> <thead> <tr> <th></th> <th>Date of inspection</th> <th>Date of certificate</th> </tr> </thead> <tbody> <tr> <td>Foundation and excavation stage</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Footing/slab stage</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Frame Stage</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Final stage</td> <td>04/03/2026</td> <td>04/03/2026</td> </tr> <tr> <td>Other stages</td> <td>N/A</td> <td>N/A</td> </tr> </tbody> </table> Date: 04 March 2026			Date of inspection	Date of certificate	Foundation and excavation stage	N/A	N/A	Footing/slab stage	N/A	N/A	Frame Stage	N/A	N/A	Final stage	04/03/2026	04/03/2026	Other stages	N/A	N/A
	Date of inspection	Date of certificate																		
Foundation and excavation stage	N/A	N/A																		
Footing/slab stage	N/A	N/A																		
Frame Stage	N/A	N/A																		
Final stage	04/03/2026	04/03/2026																		
Other stages	N/A	N/A																		
7. Building certifier	Name (in full) Andrew Bleakley Company name (if applicable) BRC Consultants Business phone number 0435865928 Email address andrew@brcconsult.com.au Postal address PO Box 77 Oxenford Licence or registration number A1126608 <table border="0" data-bbox="1007 786 1380 1189"> <tr> <td>Contact person</td> <td>Andrew Bleakley</td> </tr> <tr> <td>Mobile number</td> <td>0435865928</td> </tr> <tr> <td>State</td> <td>QLD</td> </tr> <tr> <td>Postcode</td> <td>4210</td> </tr> </table>		Contact person	Andrew Bleakley	Mobile number	0435865928	State	QLD	Postcode	4210										
Contact person	Andrew Bleakley																			
Mobile number	0435865928																			
State	QLD																			
Postcode	4210																			
8. Signature of building certifier for the work	<table border="0"> <tr> <td>Signature</td> <td>Date</td> </tr> <tr> <td></td> <td>04/03/2026</td> </tr> </table>		Signature	Date		04/03/2026														
Signature	Date																			
	04/03/2026																			

LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
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Appendix – explanatory information

Who can complete and sign a Form 21? (section 99(2) of the *Building Act 1975*)

The relevant building certifier must complete and sign the Form 21 for the purpose of stating the work is certified compliant with the building development approval.

The building certifier is required to attach to this form, all relevant inspection documentation that has been relied on by the building certifier to certify the building work complies with the building development approval. Inspection documentation, for inspection of building work, means the following documents given for the building work:

- a compliance certificate
- a notice, given to the builder for the work by or for the building certifier about an inspection of the work
- a certificate about an inspection under this Act
- a final inspection certificate
- a certificate of occupancy
- a certificate relating to the inspection of the building work relied on by the relevant building certifier.

Examples of the above documents are the **Form 16 – Inspection certificate**, **43 – Aspect certificate (QBCC licensee)** and **12 – Aspect Inspection Certificate (appointed competent person)**.

Visit the [Business Queensland website](#) for all approved and administrative building forms published by the department.

When is a Form 21 issued? (section 99 of the *Building Act 1975*)

If the building certifier is satisfied the final stage of building work complies with the building development approval and the inspection was carried out under industry best practice, that the work complies with the building development approval, they must within the required period give the Form 21 and the inspection documentation to the owner. The required period means the period that ends five business days after:

- accepting all the inspection documentation relied on by the building certifier, or
- all of the building work has been inspected.

Giving inspection documents to the relevant local government (section 149 of the *Building Act 1975*)

A private certifier must give the relevant local government copies of all inspection documentation within five business days after one of the following happens:

- the giving of the final inspection certificate for the building work or a certificate of occupancy for the relevant building
- the discontinuance of the engagement of the private certifier
- the lapsing of the building development approval; in these circumstances the certifier must also give the local government a copy of the relevant reminder notice issued under section 95 of the Building Act.

However, if the inspection documentation includes certificates relied on by the certifier, the five business days do not start until after the certifier has accepted all the certificates.

Note: under section 150 of the Building Act the building certifier must keep all inspection documentation for at least seven years.

Competent person (section 10 of the *Building Act 1975* and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A competent person cannot give inspection help to a building certifier until they have been appointed by the building certifier. For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**. Under section 36 of the Building Regulation 2021, the building certifier must record the details of their decision making to appoint a competent person and keep this record for at least 7 years. A maximum 20 penalty units apply for each offence committed under this provision.

Inspection help (section 34 of the BR 2021)

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

For further information about [conducting inspections for class 2 to 9 buildings](#), refer to the **Guideline for inspection of class 2 to 9 buildings**. For further information about conducting inspections for detached class 1a and 10 buildings or structures refer to the **Guideline for inspections of class 1 and 10 buildings and structures**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.



Dedicated to a better Brisbane

BRISBANE CITY COUNCIL ABN 72 002 765 795

Rate Account

Mailing Code EMAIL
Property Location 29 HATFIELD ST
BANYO
Issue Date 7 Jan 2026

Bill number
5000 1049 7167 656

Bill number including donation
5800 1049 7167 656

Enquiries
(07) 3403 8888
24 hours 7 days

Account Period
1 Jan 2026 - 31 Mar 2026



500010497167656/E-1/S-1/I-1/H-156
MR LUKE C DIAMANDOPOULOS & MS DANIELA A
TROMBETTA
29 HATFIELD ST
BANYO QLD 4014

Donate to the
Lord Mayor's
Charitable Trust to
help those in need

You can donate your \$15 rates
discount to the Lord Mayor's
Charitable Trust to support Brisbane's
grass-roots charities.

Donations are tax deductible and can
be made through your preferred rates
payment method. A separate receipt
will be issued by Council.

For more about the work of the Trust
visit lmct.org.au

Council is fundraising for the Lord Mayor's Charitable Trust,
a registered charity under the Collections Act 1906.



LORD MAYOR'S
CHARITABLE TRUST

The rates and charges set out in this notice are levied by the service of
this notice and are due and payable within 30 days of the issue date.
Full payment by the Due Date includes Discount and/or Rounding
(where applicable).

Payment assistance - If you would like to arrange a payment extension or a
payment plan please contact Council on (07) 3403 8888.

Nett Amount Payable

\$501.35

Due Date

6 Feb 2026

Summary of Charges

Opening Balance	0.00
Brisbane City Council Rates & Charges	453.46
State Government Charges	62.90
Gross Amount	516.36
Discount and/or Rounding (where applicable)	15.01 CR
Nett Amount Payable	501.35
Optional Lord Mayor's Charitable Trust donation received by the Due Date	516.35

If mailing your payment please tear off this slip and return with payment. Please do not pin or staple this slip. See reverse for payment methods.

Including Lord Mayor's Charitable Trust \$15 donation



*439 580010497167656



Billers Code: 319186
Ref: 5800 0000 2073 854
Amt: \$516.35 by 6 Feb 2026

Excluding Lord Mayor's Charitable Trust \$15 donation



*439 500010497167656



Billers Code: 78550
Ref: 5000 0000 2073 854
Amt: \$501.35 by 6 Feb 2026

Pay using your smartphone



Google play

Available on the App Store

MR LUKE C DIAMANDOPOULOS
& MS DANIELA A TROMBETTA

Due Date

6 Feb 2026

50

Gross Amount

\$516.36

Nett Amount

\$501.35

<0000050135> <004440> <500010497167656> >

Rating and rebate information

As a ratepayer, it is your responsibility to ensure that the charges and rating category are correct and matches your property's predominant use.

Rating information and Category - general rates are calculated based on the land valuation issued by the Queensland Government and the rating category of the property. Please refer to the rating category statement or visit brisbane.qld.gov.au/rating-categories for more information.

Change your contact details - It is important you advise Council of changes to your phone number, postal and email addresses by phone on 07 3403 8888 or visit brisbane.qld.gov.au/change-rates-contact-details to notify us online.

Rebates - Council offers a range of rates rebates, including pensioner, not for profit and owner occupier. Phone 07 3403 8888 or visit brisbane.qld.gov.au/rates-rebates for more information.

Interest - Compounding interest of 12.12% per annum will accrue daily on any amount owing immediately after the due date.

Payment options



Online

To pay online go to brisbane.qld.gov.au/pay-rates Payment is accepted by American Express, MasterCard or Visa credit card*. Minimum payment \$10.



Direct Debit

Pay a nominated amount by Direct Debit transfer from your cheque or savings account. To apply please visit brisbane.qld.gov.au/pay-rates and complete the online form.



By Mobile

Download the Sniip app to your iPhone or Android device, create your account, select 'Scan to Pay Bills' and scan the circular QR code to pay now. (Sniip is not available for iPads or tablets.) Payment is accepted by American Express, MasterCard or Visa credit card*. Minimum payment \$10.



Mail

Allow sufficient time for mail delivery as payment must be received on or before the due date to receive discount.

Return the bottom slip with cheque made payable to Brisbane City Council to:

Brisbane City Council
GPO Box 1434
BRISBANE QLD 4001



Telephone and Internet Banking - BPAY[®]

Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More info: bpay.com.au
Minimum payment \$10.

©Registered to BPAY Pty Ltd ABN 69 079 137 518

BPAY VIEW

Contact your participating bank or financial institution to register to receive your future Rate Accounts electronically. When registering, your BPAY View Registration number is our Account number located on Page 3 of this account.



Instore

Pay in-store at Australia Post
Billpay Code: *439



Phone Pay

Call 1300 309 311 to pay by American Express, MasterCard or Visa credit card*. Minimum payment \$10.



Brisbane City Council Customer Centre

Pay at any Customer Centre. Payment is accepted by cash, cheque, debit card, MasterCard or Visa credit card*. Minimum payment \$10.

* For credit and debit cards a surcharge may apply at time of payment. Details can be found at brisbane.qld.gov.au/about-council/rates-and-payments

Use and Disclosure Notice

Your property ownership and rates details are used for a range of Council functions and to provide services to you.

English

If you need this information in another language, please phone the Translating and Interpreting Service (TIS) on 131450 and ask to be connected to Brisbane City Council on (07) 3403 8888.

Italian

Per avere queste informazioni in un'altra lingua, telefonate al TIS (Translating and Interpreting Service, cioè Servizio Traduttori e Interpreti) al numero 131450 e chiedete di essere collegati con il numero (07) 3403 8888 del municipio di Brisbane (Brisbane City Council).

Spanish

Si necesitara esta información en otro idioma, se le ruega llamar al Servicio de Traducción e Interpretación (TIS), teléfono 131450, y pedir conexión con el Municipio de Brisbane, teléfono (07) 3403 8888.

Chinese

如果您需要用另一種語言獲悉此文件的內容，請致電 131450 到翻譯與傳譯服務部 (TIS)，請他們給您轉接 (07) 3403 8888 到布里斯本 (Brisbane) 市政廳。

Property Details

Owner	MR LUKE C DIAMANDOPOULOS & MS DANIELA A TROMBETTA	
Property Location	29 HATFIELD ST BANYO	
Real Property Description	L.170 RP.34627 PAR TOOMBUL	
Valuation effective from	1 Jul 2023	\$520,000
	1 Jul 2024	\$520,000
	1 Jul 2025	\$620,000
Average Rateable Valuation (A R V)	\$553,333	

Account Details

Account Number 5000 0000 2073 854

Opening Balance		
Closing Balance Of Last Bill	516.35	
Payment Received - 05-Oct-2025	501.35	CR
Discount/Rounding Allowed	15.00	CR
Total	0.00	

Period: 1 Jan 2026 - 31 Mar 2026

Brisbane City Council Rates & Charges

General Rates - Category 1(Annually 0.2159 Cents In The A R V \$)	298.66
Waste Utility Charge - 1 Charge(S) @ \$128.24 Qtr	128.24
Bushland Preservation Levy Category 1 (Annually 0.0079 Cents In The A R V \$)	10.93
Environmental Mgt Compliance Levy Category 1 (Annual 0.0113 Cents In The A R V \$)	15.63
Total	453.46

State Government Charges

Emergency Management Levy - Group 2	62.90
Total	62.90

Other Information

Your rating category statement can be found by visiting our website at brisbane.qld.gov.au and entering 'how rates are calculated'. The category statement will provide information about each rating category.

The Queensland Government waste levy for general waste is now \$125 per tonne. Council has received a payment of \$36,822,816 for the 2025-26 financial year from the Queensland Government to mitigate impacts from the Waste Levy on households. This payment is only around 70% of the amount required to be paid by Council to the Queensland Government as a levy for household waste to landfill. The Waste Utility Charge covers costs associated with managing waste in Brisbane, including the gap between the Queensland Government levy charged to Council and the 70% rebate received by Council.

Bill Number
5000 1049 7167 656



Urban Utilities
ABN 66 673 835 011

Account Enquiries 13 26 57
Faults and Emergencies 13 23 64
www.urbanutilities.com.au

Water and Sewerage Quarterly Account



QUUR39_A4A01/E-462/B-462/1-063/010
DANIELA ALISA THOMBETTA & LUKE CHRISTOS
DIAMANDOPOULOS
29 HATFIELD ST
BANYO QLD 4014

Property Location: 29 HATFIELD STREET
BANYO 4014

Customer reference number	10 1115 2343 0000 6
Bill number	1115 2343 13
Date issued	01/04/2026
Total due	\$538.61
Current charges due date	01/05/2026
Your water usage	
Water usage (kL)	56
Days charged	108
Average daily water usage (litres)	
Current period	519
Same period last year	391

Account Summary Period 25/11/2025 - 12/03/2026

Your Last Account

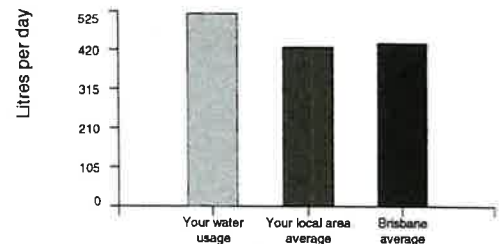
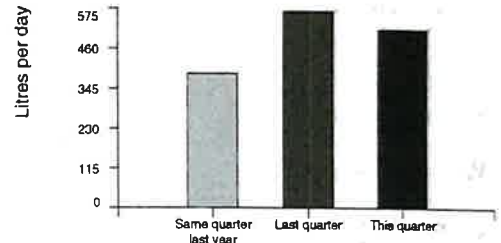
Amount Billed \$458.53
Amount Paid \$458.53CR

Your Current Account

Balance \$0.00
Current Charges \$538.61

Total Due \$538.61

If full payment is not received by the due date, simple interest (at an annual interest rate of 11%) will apply to each outstanding transaction.



WIN A \$500 CREDIT ON YOUR BILL!

SWITCH TO EBILLING FOR YOUR CHANCE TO WIN



Direct debit
To arrange automatic payment from your bank account, visit www.urbanutilities.com.au/directdebit



Telephone and internet banking - BPAY®
Contact your bank or financial institution to make this payment from your cheque, savings, credit card, debit or transaction account.
BPAY View® View and pay this bill using internet banking.
More info: www.bpay.com.au

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Internet
Pay your account online using MasterCard or Visa credit card at www.urbanutilities.com.au/creditcard
Payment by credit card will incur a surcharge.
We accept Mastercard or Visa credit cards.

Payment options



By phone
Call 1300 123 141 to pay your account using your MasterCard or Visa card.



Mail
Tear off this slip and return with your cheque payment to Queensland Urban Utilities PO Box 963, Parramatta, NSW 2124



In person
Pay in person at Australia Post with cash, cheque, money order, debit card or any branch of the Commonwealth Bank with cash or cheque.

Amount paid

Date paid

Receipt number

YOUR CHARGES for 25/11/2025 - 12/03/2026 (108 days)**Your meter readings**

Serial Number	Read Date	Reading	Usage	Comment
ADC98154	25/11/2025	1724		Estimated
	13/03/2026	1780	56kL	

Water Usage**State bulk water price**

State Bulk Water Charge 2025/26	56kL @ \$3.517000/kL	\$196.95
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Urban Utilities distributor-retailer price

Tier 1 usage 2025/26	56kL @ \$0.981000/kL	\$54.93
Subtotal		\$251.88

Water Services**Urban Utilities water service charge**

Water service charge 2025/26	108 days	\$74.95
Subtotal		\$74.95

Sewerage Services**Urban Utilities sewerage service charge**

Sewerage service charge 2025/26	108 days	\$211.78
Subtotal		\$211.78

Water usage	\$251.88
--------------------	-----------------

Water services	\$74.95
-----------------------	----------------

Sewerage services	\$211.78
--------------------------	-----------------

Your total charges 25/11/2025 - 12/03/2026	\$538.61
---	-----------------

Customer ref. no. 10 1115 2343 0000 6

29 HATFIELD STREET
BANYO 4014

Your usage was 56 kilolitres.

That's an average of 519 litres per day.

HOW TO KEEP COSTS DOWN OVER THE WARMER MONTHS

A few simple changes can help you save money on your bills

SCAN FOR OUR TOP TIPS

**INTERPRETER SERVICE 13 14 50**

当您需翻译时，请致电 13 14 50。
 اتصل على الرقم 13 14 50 عندما تكون بحاجة إلى مترجم فوري.
 Khi bạn cần thông ngôn, xin gọi số 13 14 50
 통역사가 필요하시면 13.14.50 으로 연락하십시오
 Cuando necesite un intérprete llame al 13 14 50

© Urban Utilities 2026

Tear off slip and return with your cheque payment to PO Box 963, Parramatta, NSW 2124. See reverse for payment options.



Water and Sewerage Account
 In Person / Mail Payment Advice
 Name: DANIELA ALISA
 TROMBETTA & LUKE CHRISTOS
 DIAMANDOPOULOS



Billers Code: 112144
 Ref: 10 1115 2343 0000 6



BPAY* this payment via Internet or phone banking.
 BPAY View* - View and pay this bill using internet banking.
 To use the QR code, use the reader within your mobile banking app.
 More info: www.bpay.com.au



*4001 101115234300006



Commonwealth Bank
 Commonwealth Bank of Australia
 ABN 48 123 123 124
 240 Queen Street, Brisbane, QLD



Date

Cash

Cheques

Total Due

Current charges due date

01/05/2026

For Credit **Urban Utilities**
 Trans Code User ID

831

066840

Customer Reference No.

101115234300006

\$

538.61

+757+

Certificate Of Completion

Envelope Id: 87716821-D28E-4C58-91BE-B04DF249DA14

Status: Completed

Subject: Form 2 Seller's Disclosure - Re: 29 Hatfield Street, Banyo

Source Envelope:

Document Pages: 86

Signatures: 2

Envelope Originator:

Certificate Pages: 5

Initials: 0

Anne Pattison

AutoNav: Enabled

GPO Box 1405

Envelopeld Stamping: Enabled

Brisbane, QLD 4001

Time Zone: (UTC+10:00) Brisbane

annepattison@qldlawgroup.com.au

IP Address: 117.20.6.83

Record Tracking

Status: Original

Holder: Anne Pattison

Location: DocuSign

10 April 2026 | 10:23

annepattison@qldlawgroup.com.au

Signer Events

Luke Christos Diamandopoulos

luke.diamand@hotmail.com

Security Level: Email, Account Authentication
(None)

Signature

Signature Adoption: Drawn on Device

Using IP Address:

2405:6e00:638:7ed:58d2:3385:483b:c77a

Signed using mobile

Timestamp

Sent: 10 April 2026 | 10:42

Viewed: 10 April 2026 | 10:44

Signed: 10 April 2026 | 10:45

Electronic Record and Signature Disclosure:

Accepted: 10 April 2026 | 10:44

ID: 95c50a49-6a1d-4613-b7ca-6fced775ea41

Daniela Alisa Trombetta

dani.t93@hotmail.com

Security Level: Email, Account Authentication
(None)

Signature Adoption: Drawn on Device

Using IP Address:

2403:580c:5892:0:20cc:8fbe:e86f:7f99

Sent: 10 April 2026 | 10:45

Viewed: 10 April 2026 | 14:13

Signed: 10 April 2026 | 14:14

Electronic Record and Signature Disclosure:

Accepted: 10 April 2026 | 14:13

ID: e8818116-424f-4b92-981f-3357e0b9bfbf

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events

Signature

Timestamp

Notary Events

Signature

Timestamp

Envelope Summary Events

Status

Timestamps

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	10 April 2026 10:42
Certified Delivered	Security Checked	10 April 2026 14:13
Signing Complete	Security Checked	10 April 2026 14:14
Completed	Security Checked	10 April 2026 14:14
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	Allow per session cookies

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